

Village <sup>the</sup> of New Lenox  
*"Home Of Proud Americans"*

Building Department  
Phone 815-462-6490  
Fax 815-462-6469



**COMMERCIAL / INDUSTRIAL  
INFORMATION ONLY**

**REVISED**  
1/1/2016

**STANDARDS CITED**

INTERNATIONAL BUILDING CODE - 2012

INTERNATIONAL MECHANICAL CODE - 2012

INTERNATIONAL RESIDENTIAL CODE – 2012

NATIONAL ELECTRICAL CODE - 2011

IDOT SPECIFICATIONS

VILLAGE OF NEW LENOX MUNICIPAL CODE

ILLINOIS STATE PLUMBING CODE - 2014

ILLINOIS ACCESSIBILITY CODE- 1997

INTERNATIONAL PROPERTY MAINTENANCE CODE – 2012

INTERNATIONAL FUEL GAS CODE – 2012

INTERNATIONAL FIRE CODE – 2012

INTERNATIONAL ENERGY CONSERVATION CODE 2015  
WITH ILLINOIS AMENDMENTS

**NOTE:**

**LOCAL AMENDMENTS TO THE ABOVE CODES  
ARE AVAILABLE AT THE VILLAGE OF NEW LENOX OFFICE**

**01-01-2016**

**BUILDING CHECKLIST – COMMERCIAL – INDUSTRIAL-MULTI-FAMILY PERMIT**

**INSTRUCTIONS:** Each applicant is responsible for submitting all of the following items and initialing each item. Drawings shall be architectural or engineering quality with dimensions appropriately shown. **APPLICATION FOR A BUILDING PERMIT SHALL NOT BE ACCEPTED AS COMPLETE UNTILL ALL DETAILS ON THE CHECKLIST HAVE BEEN COMPLETED.**

Applicant should initial each applicable submittal

- |       |   |
|-------|---|
| _____ | 1. Three sets of drawings.  |
| _____ | 2. Site plan detail sheet. (i 5 Copies)<br>(See Attached ORD. #1248 for submittal requirements) |
| _____ | 3. Parking plan detail sheet.   |
| _____ | 4. Foundation detail sheet.   |
| _____ | 5. Floor plans.   |
| _____ | 6. Wall construction detail sheet.  |
| _____ | 7. Applicable seating capacity sheet.   |
| _____ | 8. Floor construction detail sheet.   |
| _____ | 9. Roof/ceiling construction detail sheet.  |
| _____ | 10. Chimney/fireplace and chase detail.   |
| _____ | 11. Mechanical detail sheet.  |
| _____ | 12. Plumbing detail sheet.  |
| _____ | 13. Electrical detail sheet.  |
| _____ | 14. Accessibility detail sheet.   |
| _____ | 15. Sign detail sheet.  |
| _____ | 16. Use group classification is _____.  |
| _____ | 17. Type of construction classification is _____.   |
| _____ | 18. Architectural seal.   |
| _____ | 19. Drainage certificate, completed.  |
| _____ | 20. Erosion control permit, completed.  |
| _____ | 21. Open space fee receipts.  |
| _____ | 22. Authorization for third party plan review service.  |
| _____ | 23. Landscape Plan (nonresidential only)  |
| _____ | 24. Permit for Construction trailer (when applicable)   |
| _____ | 25. Energy Code Calculations.   |

VILLAGE OF NEW LENOX – BUILDING DEPARTMENT

1 VETERANS PARKWAY – NEW LENOX, IL 60451

(815) 462-6490 Phone – (815) 462-6469 Fax

**COMMERCIAL, INDUSTRIAL & MULTI-FAMILY PROJECTS**

**PLAN REVIEW FEES**

I have submitted Building Plans for review to the Village of New Lenox Building Department. I am aware that as the applicant for the Building Permit I am responsible for all costs incurred for the review of the building plans in accordance with the fee schedule.

I understand that the plan review deposit shall be due and payable at the time of application to the Building Department. All plan review deposits are non-refundable.

PROJECT NAME: \_\_\_\_\_

NAME OF APPLICANT: \_\_\_\_\_

COMPANY NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE, ZIP: \_\_\_\_\_

PHONE NUMBER: \_\_\_\_\_

APPLICANT'S SIGNATURE \_\_\_\_\_

DATE \_\_\_\_\_

Estimated Value of Project \$ \_\_\_\_\_

Plan Review Fee Amount \$ \_\_\_\_\_ Form of Payment \_\_\_\_\_

Date Paid \_\_\_\_\_

## ***PLAN REVIEW SERVICE***

The initial plan review requires ALL essential information for fast and accurate processing. Use the guide below as a convenient reference when sending plans for review.

**BUILDING      MECHANICAL PLUMBING      ELECTRICAL      SPRINKLER**

*Plans are reviewed for conformance to the following codes:*

International Building Code	National Electrical Code	Illinois State Plumbing
International Mechanical Code	International Fire Code	International Fuel Gas Code
New Lenox Zoning Code	Local Amendments	
	Illinois Accessibility Code	

### **Building Plan Review**

#### **Building Plans –3 sets (signed and sealed)**

- Complete building plans showing use of all areas, equipment layout and aisles.
- Title block to include: type of construction, use group, installed fire protection, design options.
- Occupant load for all areas, exiting system plan.
- Complete door schedule with catalog cuts for all doors, hardware and locksets.
- All appropriate wall, floor, and foundation sections.
- List all rated assemblies, diagram assembly, design numbers.
- Window and glazing schedule, interior finish schedule, flame spread ratings.
- List all building design loads
- Shop drawings for steel supported system prior to work start
- Indicate shop drawings for all fire protection systems, will be provided prior to work start
- Structural calculations
- Details for all special occupancy requirements (open well, atriums, and floor openings, high rise covered mall, etc.)
- Details for all special structures (sky lights, roof panels, awnings)
- Sequence of operation for all special systems (smoke control, elevator recall, etc.)
- Electrical plans show: location of egress lighting, exit signs, wiring panel size, service and transformer, show protection of devices.
- Details showing all state accessible requirements, catalog cuts for fixtures

#### ***Soil Report***

- Soil test, show requirements for accurate footings and support loads
- Footing and foundation requirements and recommendations
- Soil engineer's requirements for appropriate footings and walls to support loads

#### **Site Plan (3 sets)**

- Show setbacks, elevations, drainage, parking, outside lighting, lot grading, sanitary sewer, Location of fire hydrants, storm water calculations, benchmark information.

#### **Specifications**

- Building, components, equipment, etc.

## **PLUMBING PLANS, MECHANICAL PLANS – 3 SETS (SIGNED AND SEALED)**

- Complete water piping system and sizes.
- Gas piping plans, show location, pipe sizes, shut off locations.
- Diagram for waste, drainage and vent system,
- Indicate drinking fountains or bottled water.
- Ventilation schedule, show amount of supply, exhaust and outside air.
- Smoke duct detection (if HVAC exceeds 2000cfm)
- Fire protection working drawings (if required)
- Cleaning schedule for commercial kitchen exhaust hood and duct, show method of construction
- Mechanical equipment and appliances.
- Manufacturer's installation instructions.
- Show 110v outlet for rooftop appliances.
- If copper tubing is to be installed, indicate that the solder for copper tubing (for potable water distribution) is to be lead-free.

### **Specifications**

- Fixtures, pipe materials, joints, connections for all plumbing systems
- Equipment and appliances
- Commercial kitchen exhaust hood suppression, show pipe sizes (minimum, maximum)

## **ELECTRICAL PLAN REVIEW**

### **Electrical Plans – 3 sets (signed and sealed)**

- Show location of all electrical devices: lighting, receptacles, outlets, equipment, transformers, panels and sub panels.
- Size and type of all wire and number of conductors in conduit or raceway
- Size and type of all conduit and/or raceways and piping to transformer
- Use of and amperage of each circuit
- Number of circuits, size of circuit breakers, location and size of main disconnect
- Location of convenience outlets at all appliance and rooftop outlets
- Load calculation charts for all panel boards
- Emergency lighting to all rooms, spaces, corridors and access routes
- Type of connection and locations for grounding wiring.
- Size of grounding connectors and wires
- Indicate method of connecting exit and emergency lighting to building electrical system
- Location of GFI outlets
- Type of electrical cooking appliances and/or equipment to be used

### **Specifications**

- Description of electrical equipment
- Demand for each device

## SPRINKLER PLAN REVIEW

### Sprinkler Plans 3 sets (signed and sealed)

- Water flow test: pressure, location, time, date witness and seasonal adjustment
- Type of pipes, joints and fittings, dimensions, and lengths.
- Show sprinkler protection for all areas and square footage for each sprinkler
- Number, type and temperature ratings for all sprinklers
- Catalog cuts for special sprinklers
- Building occupancy, details for process and storage materials.
- Section and plan reviews of racks, or shelving and storage heights.
- Description of special systems, show valves and trim
- Location of gauges test valves, main and auxiliary drains
- Show arrangement, drainage, piping, threads and height for fire department connection
- Indicate all flushing and tests to be completed.
- Location and detail for hangers.
- Hose rack layouts (storage areas in compliance with NFPA 231
- Supervision of valves and flow switches
- Hydraulically calculated systems: complete calculations, sprinkler system summary sheet flow diagram (show reference points or nodes)

## STATE ACCESSIBILITY

*Determine elements required for accessibility*

### *New Buildings and Additions:*

- |                             |                        |
|-----------------------------|------------------------|
| • Accessible Routes         | Drinking Foundations   |
| • Means of egress           | Restrooms/Bathrooms    |
| • Parking                   | Storage                |
| • Ramps & Curb Ramps        | Controls and Alarms    |
| • Stairs & Elevators        | Detectable Warnings    |
| • Platform Lifts            | Signage, Telephones    |
| • Windows, Doors, Entrances | Seating, Work Surfaces |

*Determine additional requirements for special occupancies Public Facilities*

### **Special Occupancies**

- |                             |                          |
|-----------------------------|--------------------------|
| • Assembly                  | Museums                  |
| • Educational               | Children's Facilities    |
| • Health Care               | Recreational             |
| • Governmental Unit Housing | Restaurants              |
| • Libraries                 | Temporary Buildings      |
| • Lodging                   | Tenant Work              |
| • Mercantile/Business       | Transportation Terminals |

### **Unique Use Requirements**

- *Provide cuts of all plumbing fixtures*
- *Dwelling unit requirements*
- *Provide details for bathtubs and shower stalls in buildings other than dwelling units*
- *Auditorium and Assembly area requirements*

## ACCESSIBILITY REQUIREMENTS

### Exterior Requirements

- 1.) Indicate accessible routes.
- 2.) Indicate each parking space to be of the minimum allowed.
- 3.) Indicate the sidewalk size from parking lot to building.
- 4.) Indicate the size and slope of the curb ramps from parking lots to sidewalks.
- 5.) Indicate the required entrance doors that have thresholds of ½ inch.
- 6.) Indicate lever type or other approved design door hardware on doors with latches or locks.
- 7.) Indicate the drawing of the above ground accessible signage and the applicable fine.

### Interior Requirements

- 1.) Indicate egress doors into occupiable spaces to have lever handles or other approved designs.
- 2.) Indicate adequate maneuvering clearances at doors to gain access to rooms.
- 3.) Indicate required handrails on both sides of stairs.
- 4.) Indicate locations of hall call buttons. Lanterns, floor destinations, tactile characters for elevator lobbies.
- 5.) Indicate knurled knobs on doors that lead into hazardous areas.
- 6.) Indicate detectable warnings at the top of stair runs.
- 7.) Indicate size of floor access to public telephones in public areas, height of the operable parts and hearing impaired equipment.
- 8.) Indicate any objects protruding into walks, halls, corridors, passageways or aisles to project not more than the minimum above the finished floor of walking surface.
- 9.) Indicate height of the threshold on any means of egress door required to be accessible
- 10.) Indicate the height of the drinking fountain spout above the finished floor.
- 11.) Indicate the clear floor and knee space for the accessible drinking fountains
- 12.) Indicate the water closet location in relation to the walls and other fixtures
- 13.) Indicate the height to the top of the water closet seat for the accessible fixture(s)
- 14.) Indicate height above the finished floor surface, bar sizes, length of the bars and distances from the wall for required grab bars at the water closet.
- 15.) Indicate the height and location of the required toilet paper dispensers.
- 16.) Indicate the height to the bottom of the apron of the lavatory.

### Energy Code

Effective April 8, 2006, all commercial buildings must be designed and comply with the Energy Conservation Code. A commercial building is any structure that is not a one-or-two family residential structure. Under the law, a residential building is:

- A detached one-family or two-family dwelling
- Any building that is three stories or less in height above grade that contains multiple dwelling units in which the occupants reside on a primarily permanent basis, such as a townhouse, a row house, an apartment house, a convent, a monastery, a rectory, a fraternity or sorority house, a dormitory or a rooming house.

Architects, engineers and contractors can demonstrate compliance by submitting to the AHJ the compliance forms published in the ASHRAE 90.1 User Manual, the compliance certificates generated by the U.S. Department of Energy's COMCheck computer simulation program or another, comparable energy efficiency model that meets or exceeds the standards of ASHRAE 90.1 or the DOE COMCheck program.

COMMERCIAL / INDUSTRIAL  
SEWER / WATER TAP-ON FEES  
FY 2014/2015

POTABLE WATER SERVICE	WATER-TAP	SEWER-TAP	METER FEE	DEPOSIT FEE
<b><u>RESIDENTIAL RATES</u></b>				
1 inch	\$ 5,580	\$ 8,345	\$ 569.00	\$ 50.00
1 ½ inch (with 1" meter)	\$ 5,580	\$ 8,345	\$ 620.00	\$250.00
1 ½ inch (with 1 ½" meter)	\$ 5,580	\$ 8,345	\$ 980.00	\$250.00
2" meter for residential / multi family (meter and meter read equipment only/no valves)	\$ 5,580	\$ 8,345	\$1,025.00	\$250.00
<b><u>COMMERCIAL RATES</u></b>				
1 ½ inch (with 1 ½" meter)	\$12,555	\$18,776	\$ 1,650.00	\$250.00 (1 ½" compound no valves)
2 inch	\$22,320	\$33,380	\$ 1,831.00	\$250.00 (2" compound no valves)
3 inch	\$50,220	\$75,105	\$ 2,352.00	\$250.00 (3" compound no valves)
4 inch	\$89,280	\$133,520	\$ 3,870.00	TBD

The tap-on fees listed are based on the size of the water meter size and do not apply to water services for fire suppression systems.  
**All fees are effective May 1, 2014 and are subject to a 5% increase each May 1<sup>st</sup>.**

ORDINANCE NO. 1248

AN ORDINANCE AMENDING CHAPTER 18 OF THE MUNICIPAL CODE OF THE  
VILLAGE OF NEW LENOX, WILL COUNTY, ILLINOIS  
(Site Plan Review Requirements)

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WHEREAS, it has been deemed by the President and Board of Trustees to be in the best interest of the citizens of the Village of New Lenox to amend the provisions of the Municipal Code to require site plan review for multiple-family and non-residential development, as hereinafter set forth.

NOW, THEREFORE, be it ordained by the President and Board of Trustees of the Village of New Lenox, Will County, Illinois as follows:

Section 1: Chapter 18 of the Municipal Code of the Village of New Lenox is hereby amended to add an Article XIII to read as follows:

**Sec. 18-326. Authority.**

The Village Board has the authority to approve or disapprove site plans required to be submitted for approval under this section in accordance with the provisions of this Chapter.

**Sec. 18-327. Purpose.**

Plan review and approval is required to ensure that the use and development of land is undertaken in a manner that furthers the public health, safety, and welfare of the Village, and makes adequate provisions for public and private services and amenities that minimize the adverse effects of such development. The design, orientation, and location of buildings, parking areas, signs, and landscaping visible to the public realm has a material and substantial relationship to property values and the taxable values of property in the Village, and the cost of the municipal services provided thereto. Many neighborhoods in other communities have deteriorated due to the lack of planning, neglect of proper maintenance standards, and the erection of buildings and structures that are incompatible with the character of the area, resulting in a reduction in property values.

Therefore, it is the policy of the Village of New Lenox that these regulations be adopted to avoid and prevent deterioration of the function, character, and appearance of the Village, and provide a favorable environment for residents and businesses, and to preserve and enhance the property values and the general public welfare.

**Sec. 18-328. Approved Plan - When Required.**

Site plan approval shall be required for multiple-family and non-residential development in the following situations:

- (a) Application to construct a new principal structure intended and designed for non-residential or multiple-family occupancy;
- (b) Application to completely redevelop any site for non-residential or multiple-family uses;
- (c) Application to expand an existing principal structure, erected prior to the date of the adoption of this ordinance, for which the sum total of the gross floor area of the proposed expansion(s) is (are) equal to or greater than twenty five (25) percent of the existing gross floor area of said structure;
- (d) Application to modify any new or existing building(s) and/or site improvement(s) that have previously received site plan approval under this ordinance. Reapproval is required for components of the plan which depart from the approved site plan. The extent of changes to be incorporated in the submittal for reapproval shall be determined by the Building & Zoning Administrator;
- (e) A site plan shall be required along with any application for a Special Use permit or a Special Use permit amendment for any non-residential or multiple-family development;
- (f) A site plan shall not be required exclusively for a change of use unless such change of use results in increased off-street parking requirements equal to or greater than twenty-five (25 ) percent of the existing off-street parking;
- (g) The requirement for site plan review excludes the reconstruction of legally non-conforming buildings, when such buildings and related improvements are substantially restored to their prior condition;
- (h) Site Plan review is not required as part of Planned Unit Development approval, but may apply to development of individual sites following approval of a Planned Unit Development, as controlled by the ordinance granting approval of the Planned Unit Development.

**Sec. 18-329. Initiation.**

Site plan approval shall be initiated by the owner of the property, or owner's agent, for which plan approval is sought.

**Sec. 18.330. Procedure for Initiation.**

- (a) The owner of the property for which a zoning map amendment or a Special Use permit is sought (and requiring site plan approval under Section 18-328, above) shall file an application for site plan approval along with such application for an amendment or Special Use permit.
- (b) The owner of the property for which a building permit is sought (and requiring site plan approval under section 18-328, above) and which has not been previously approved under the requirements of this section, shall file an application for site plan approval along with an application for such building permit.
- (c) The owner of the property, or duly authorized representative of the owner, shall file an application for site plan approval with the Building & Zoning Administrator. It shall be accompanied by a non-refundable fee as established from time to time by the Village Board and shall contain the following information:
  - (1) Name, address, and telephone number of the applicant including the name and address of each person or entity owning an interest in the subject property. For purposes of this section, the term ownership interest shall include any legal or equitable interest held at the time of the application in the property that is the subject of the application. The application shall include the signature(s) of the owner(s).
  - (2) A site plan of the size and containing the information required by Section 18-331 of this Chapter.

**Sec. 18-331. Contents of a Site Plan Review Application.**

All applications for site plan review shall include the following information:

- (a) Site Plan Application
  - (1) A completed application form provided by the Building & Zoning Administrator.
  - (2) Each application shall include fifteen (15) copies of all full-sized documents and drawings. For all graphic and plan drawings, a scale of not less than one inch equals one hundred feet (1" = 100') shall be used. In no event shall individual sheets or drawings exceed thirty (30) inches by forty-two (42) inches. All sets of drawings submitted shall be folded to a size no larger than nine (9) inches by twelve (12) inches.

- (3) The names and addresses of the persons responsible for preparing the plan.
- (4) The present zoning of the site and adjoining property.
- (5) Any other information that may reasonably be required by the Village Board or Building & Zoning Administrator as the case may be, which may include, but is not limited to, the following:
  - a. A traffic study.
  - b. In the case of a map amendment or special use, an analysis of the need and demand for the proposed use and the impact of the proposed use on the value of adjoining and nearby properties.
  - c. A fiscal impact analysis.
- (b) A map depicting existing conditions showing the location, dimensions, size and height of the following, as applicable:
  - (1) Streets, alleys, easements, and utilities, including street lighting.
  - (2) Buildings and structures.
  - (3) Septic fields, wells, and public sewer and water systems.
  - (4) The topography of the existing ground, drawn at a minimum of two (2) foot contours, particularly slopes in excess of 15%.
  - (5) Terraces and retaining walls.
  - (6) Driveways, entrances, exits, parking areas and sidewalks.
  - (7) Water mains and fire hydrants.
  - (8) Recreation areas, if any.
  - (9) Natural and artificial watercourses, bodies of water, and wetlands, if any.
  - (10) Limits of flood plains, if any.
  - (11) Hydric soils, if any.
  - (12) Significant geological features, if any.

- (13) Areas that can reasonably be expected to, or which do contain, contaminated soils or materials contaminated with toxic or hazardous materials.
  - (14) Underground storage tanks, if any.
  - (15) General alignment and lengths of all streets and all property lines.
  - (16) All building restriction lines, highway setback lines, easements, covenants, reservations, and rights-of-way.
  - (17) Date, scale, and north arrow.
- (c) A separate site plan shall be prepared to show the general location, dimensions, size, and height of the following elements of the proposed development, and shall include all of the items outlined in paragraph (b) above, plus:
- (1) For a site plan which includes any existing structure or other improvements, an indication of those improvements that are to remain and those which will be removed.
  - (2) Buildings and structures with entrances and exits identified.
  - (3) Utility plan for water, and wastewater disposal.
  - (4) Methods to control erosion on slopes of fifteen (15) percent or more.
  - (5) Distances between buildings.
  - (6) Calculations of the following, as applicable:
    - a. Number of dwelling units or square footage of non-residential uses.
    - b. Number of parking spaces.
    - c. Number of loading spaces.
    - d. Total land area.
    - e. Total landscaped area.
    - f. Total open space.
    - g. Total impervious surface.

- (7) Tentative plans for collecting and depositing stormwater, and the method of treatment of natural and artificial watercourses, including a delineation of proposed limits of floodplains, if any.
- (8) A general indication of proposed grading, surface drainage, terraces, retaining wall heights, grades on paved areas, and ground floor elevations of proposed buildings and structures, shown at a minimum of two (2) foot contours, and approximate elevations.
- (9) A landscape plan showing the location, species, size, and area coverage of trees, shrubs, and ground cover to be planted, and the areas to be retained in natural vegetation, in accordance with Chapter 106, Article IX, Landscape Requirements.
- (10) Any location intended for the outdoor display or storage of goods and merchandise.
- (11) Plans to remediate, remove, or control on-site any contaminated soils, materials, underground storage tanks, combustible gases, or old landfills, dumps, or disposal areas.
- (12) Plans for minimizing the impact on existing wetlands and/or hydric soils.
- (13) A lighting plan indicating all exterior building-mounted and freestanding lights and structures including overall height, type of lamp, luminaries, foot-candles, and a statement that such lighting plan will meet the Standards of the Illuminating Engineering Society of North America.
- (14) Exterior building elevations of all proposed structures and existing buildings when existing buildings are proposed to be structurally altered. Elevations shall indicate the materials to be used in the design of the structure and proposed color scheme.
- (15) Elevations of proposed free-standing signs, as well as the intended sign message/display, and the materials and colors intended for the sign. Typical elevations shall be provided for wall-mounted signs including color renderings of all sign faces; views of supporting members, poles, bases and pedestals; side views which indicate both signage depth and projections; method of illumination, colors samples, materials indications, and dimensions of all sign elements.

- (16) A location map identifying the site in relation to the nearest intersection of two or more streets at a scale that can be easily traced.
- (d) Combined Existing Conditions Map and Site Plan

The requirements for each the Existing Conditions Map and Site Plan under subsections (b) and (c) above may be combined in a single map upon approval of the Building & Zoning Administrator.

**Sec. 18-332. Agreement of Owner.**

All documents and information submitted as part of an application for site plan approval shall be construed to be a statement by the applicant that he or she intends and agrees to develop the site in accordance with such information upon approval.

**Sec. 18-333. Notice Requirements.**

Site plans do not require any form of public notice, however, a site plan application filed concurrently with an application for a zoning map amendment or an application for a Special Use permit shall state that site plan approval is sought as part of the public notice in addition to the requested map amendment and / or Special Use permit.

**Sec. 18-334. Procedure for Decision - Village Board Action.**

Plans that are filed with an application for a zoning map amendment or with an application for a Special Use permit shall be processed as part of the amendment or Special Use. All other site plans shall be approved or denied by the Village Board. Approval shall be given by adoption of a resolution authorizing such site plan and any conditions thereon.

**Sec. 18-335. Standards for Plans.**

In reviewing and determining whether to approve or disapprove a plan, the Village Board and Building & Zoning Administrator shall consider those factors listed below which they determine to be applicable to a given plan.

- (a) The application shall comply with the provisions of this ordinance and all other ordinances of the Village and any other applicable laws.
- (b) The plan shall be in reasonable conformity with the Comprehensive Plan.
- (c) Reasonable provisions shall be made to ensure that development will be served by essential public facilities and services such as highways, streets, parking spaces,

police and fire protection, drainage structures, refuse disposal, water and sewer, or septic systems, and schools.

- (d) Any building or structure shall be reasonably accessible to fire, police, emergency, and service vehicles. When deemed necessary for access, emergency vehicle easements shall be provided. The access for fire, police and emergency vehicles shall be unobstructed at all times.
- (e) Adequate provision shall be made to ensure the compatibility of the proposed development, including mass, scale, site layout, and site design with the character of the surrounding property and the neighborhood, including:
  - (1) Relationship of Buildings to Sites
    - a. The site shall be planned to achieve a desirable transition to the street, provide for adequate planting, safe pedestrian movement, and off-street parking areas.
    - b. Parking areas should include innovative ways to significantly screen the parking areas from views from public ways.
    - c. Without restricting the permissible limits of the applicable zoning district, the height and scale of each building shall be compatible with its site and existing (or anticipated) adjoining buildings.
  - (2) Building Design.
    - a. Structures shall be in scale and harmonious with adjoining buildings and other defined plans for adjacent buildings.
    - b. Materials shall be selected for their harmony with the building and adjoining buildings. Materials shall also be selected for suitability to the type buildings and the design in which they are used.
    - c. Materials shall be of durable quality.
    - d. Exterior lighting shall be part of the architectural concept and fixtures, standards, and exposed accessories shall be harmonious with the building design.
  - (3) Signs

- a. Every sign shall be designed as an integral architectural element of the building and site to which it principally relates.
- b. The colors, materials, and illumination of every sign shall be compatible and harmonious with the building and site to which it principally relates.
  
- c. Each sign shall be compatible with signs on adjoining premises and shall not compete for attention.
  
- (f) Open space provided is configured to make that open space usable, functional, and appropriate to the development proposed.
- (g) Streets and sidewalks shall provide access and good traffic circulation to and from adjacent lands, existing streets, sidewalks, and other proposed adjacent buildings.
- (h) Provision shall be made to ensure that adequate access roads or entrance or exit drives will be provided and will be designed so as to prevent traffic hazards and to minimize traffic congestion in public streets.
- (i) Adequate water mains and fire hydrants shall be provided in accessible places in accordance with good fire fighting and fire prevention practice.
- (j) Adequate provision shall be made for the collection and disposition of all on- and off-site stormwater and natural water, including but not limited to on-site drainage retention or detention facilities.
- (k) Adequate provision shall be made for the collection and disposition of wastewater.
- (l) Adequate provision shall be made to avoid an increase in hazard to adjacent property from flood, increased run-off or water drainage.
- (m) The obstruction of natural watercourses shall be prohibited.
- (n) Adequate provision shall be made to avoid glare of vehicular and stationary lights that would affect the established character of the neighborhood, and to the extent such lights will be visible across from any property line, the performance standards for illumination shall be met.
- (o) Adequate provision shall be made to ensure that the location, lighting, and type of sign and the relationship of signs to traffic control is appropriate for the site and will not have an adverse affect on any adjacent properties.

- (p) Adequate provision shall be made to minimize the impact on existing or developing wetlands and hydric soils.
- (q) The requirements of Chapter 106, Article IX, Landscaping Requirements have been met.

**Sec. 18-336. Conditions on Plans.**

The Village Board, in consideration of any site plan, may impose certain conditions in granting plan approval to minimize any negative impacts or minimize any adverse impacts due to the development.

**Sec. 18-337. Modification of Plans.**

Changes to site plans require reconsideration and reapproval by the Village Board as provided in this Article.

**Sec. 18-338. Lapse of Approval.**

Unless the Village Board provides otherwise by resolution, or unless the Village Board has extended the term of site plan approval, plan approval shall automatically lapse one (1) year after the date of approval of the plan, unless a building permit has been issued and construction commenced.

**Sec. 18-339. Village's Authority to Retain Outside Professional Services.**

In accordance with applicable State and Local law, the Village may retain professional assistance from outside the Village Staff in review of information submitted pursuant to this Section, or as otherwise required by the Building & Zoning Administrator to carry out the purpose of same. All reasonable costs incurred as a result of such professional assistance shall be borne by the applicant. At no point shall such reasonable costs exceed five thousand dollars (\$5,000.00). Further, such professional assistance shall be completed within fifteen (15) months.

Section 2: All ordinances or parts of ordinances conflicting with any of the provisions of this ordinance shall be and the same are hereby repealed.

Section 3: If any section, subsection, sentence, clause, phrase or portion of this ordinance is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct, and independent provision, and such holding shall not affect the validity of the remaining portions hereof.

Section 4: This ordinance shall be in effect from and after its passage, approval and publication in pamphlet form as provided by law.

PASSED THIS 13th day of July, 1999  
with six members voting AYE, with -0- members voting NAY, and with  
-0- members ABSENT, the Mayor voting ----; and said vote being BATSON aye,  
MUELLER aye, BOWDEN aye, SMITH aye, SKINIOTES aye, and  
WEIGEL aye.

Marcia Engert, Deputy Clerk  
VILLAGE CLERK

APPROVED this 14<sup>th</sup> day of July, 1999.

Richard Smith  
VILLAGE PRESIDENT

ATTEST:

Marcia Engert, Deputy Clerk  
VILLAGE CLERK

ORDINANCE NO. 1370

AN ORDINANCE AMENDING CHAPTER 106 OF THE  
MUNICIPAL CODE OF THE VILLAGE OF NEW LENOX, ILLINOIS  
(Landscape Regulations)

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WHEREAS, the New Lenox Village Board of Trustees has deemed it to be in the best interest of the Village of New Lenox, Illinois, to amend certain portions of Chapter 106 as they pertain to landscape requirements; and,

WHEREAS, a public hearing was held before the New Lenox Plan Commission on November 5, 2001 for the purpose of soliciting public comment on the ordinance amendments.

NOW, THEREFORE, be it ordained by the Mayor and Board of Trustees of the Village of New Lenox, Will County, Illinois, as follows:

Section 1: That Section 106 Article IX. Landscaping Requirements shall be replaced with the following:

**ARTICLE IX. LANDSCAPING REQUIREMENTS**

**Sec. 106-421. Purpose of article; applicability of article.**

This article is established to create uniform landscape, screening and tree preservation standards for development of property in the village and to provide for review of plans therefor, in order to ensure that the village remains attractive, safe and comfortable. This article governs all single-family detached and two-family attached developments receiving preliminary plat approval after December 18, 2001, and all commercial, industrial and multi-family developments. All requirements contained in this article shall be provided on-site for the affected development, except those pertaining to the exterior parkway.

**Sec. 106-422. Definitions.**

The following words, terms and phrases, when used in this article, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning. The definitions in this section apply uniquely to this article and supersede any conflicting definitions found in section 106-2. The rules for interpretation found in section 106-2 (a) shall be applicable to these definitions.

*Exterior parkway* means the unpaved portion of the public street right-of-way or private road easement adjacent to a property (see figures 1 and 2).

*Foundation area* means the ground area immediately adjacent to a building on all sides thereof. Foundation areas extend a minimum of six feet in all directions from the foundation of the building (see figures 1 and 2).

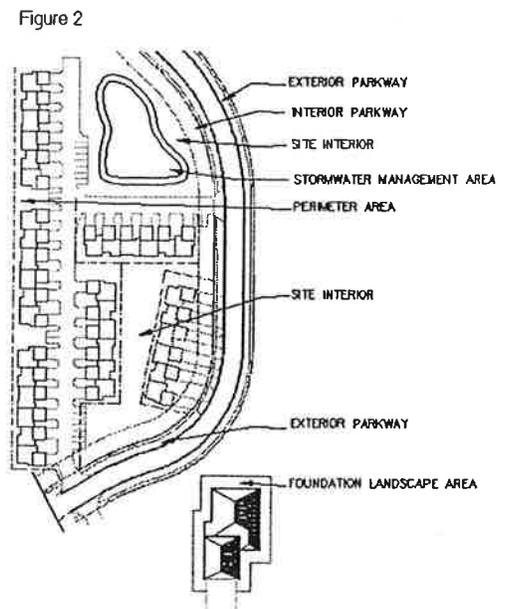
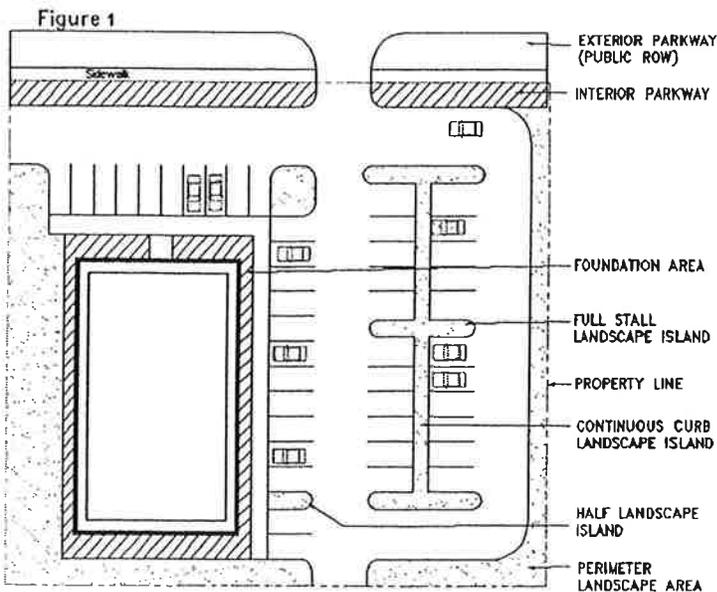
*Interior parkway* means a landscaped open space extending a specified distance from all public street rights-of-way or private street easements as shown in table 1, below (see figures 1 and 2).

TABLE 1. INTERIOR PARKWAY REQUIREMENTS

Zoning Classification	Minimum Interior Parkway (feet)
Commercial/C-1	30
Commercial/C-2	20
Commercial/C-3	20
Commercial/C-4	20
Commercial/C-5	20
Office Park/C-6	100
Commercial/C-7	50
Industrial/I-1	30 or 50
PUD*	20-100

\* Property zoned PUD shall meet or exceed perimeter screening required of the most appropriate standard zoning district as determined by the zoning administrator.

*Landscaped open space* means land covered by trees, shrubs, turf grasses or ground cover. Impervious surfaces such as buildings, parking lots, walkways or patios are not considered landscaped open space.



*Perimeter landscape area* means an area around the periphery of a property not facing a public road. The perimeter landscape area extends from the property line to the nearest building face, parking area or access drive, exclusive of the foundation area and the interior parkway (see figures 1 and 2).

*Protected tree* means an existing tree designated on the landscape plan to remain after construction.

*Site interior* means the open space area behind and between buildings on a site with multiple structures, excluding the interior parkway, foundation area and perimeter landscape area (see figures 1 and 2).

**Sec. 106-423. Plan requirements; installation of landscaping.**

- (a) *Plan requirements.* The following shall establish the standards for the preparation and submission, if required, of plans for landscaping, screening and tree preservation:
- (1) *Uses requiring landscape plan.* A landscape plan approved by the village's contracted consultant on the basis of the standards set forth in this article shall be required for all multi-family, commercial and industrial development, and single-family and two-family residential developments receiving preliminary plat approval after December 18, 2001.
  - (2) *Contents of plan.* All landscape plans shall include or have attached thereto the following information:
    - a. North arrow, scale, and date of plan and any subsequent revisions.
    - b. The location and dimensions of all existing and proposed buildings, structures, parking lots and driveways, roadways and rights-of-way, sidewalks, bicycle paths, ground signs, refuse disposal areas, fences, freestanding electrical equipment, light fixtures, other surface utility structures, and other freestanding structural features as determined by the community development department, such as tot lots and other recreational facilities, setbacks and easements. The landscape plan shall be drawn at a scale not smaller than one inch equals 50 feet.
    - c. The location, quantity, size, and both scientific and common names of all proposed plant materials.
    - d. Existing and proposed contours, including the location of all proposed berming, at a one-foot contour interval. Also included shall be the location, extent and general elevations of all detention and retention areas and drainageways.
    - e. Specification of the type and boundaries of all proposed ground cover, including both scientific and common names of all proposed plant materials.
    - f. The designation, location, type and size of all existing trees four inches and larger in diameter measured one foot above natural grade. Any trees to

be removed shall be clearly identified. Trees measuring between two and one-half and four inches in diameter, which will be used to meet landscape requirements, shall also be indicated. If required for reasons of clarity, this information may be placed on an additional illustration. Where existing trees are grouped in a dense cluster, an overall tree mass may be used without a specific delineation of individual trees. If this technique is used, protected trees used to meet site landscape requirements must be tagged on-site and identified on the plan in tabular form.

- g. A table indicating the total plant units summarized by species and type. Existing trees to be preserved and credit given towards the requirements of this article should be so noted.
  - h. Details of all fences and walls proposed to be constructed on the site.
  - i. Elevations, cross sections and other site or construction details determined to be necessary by the community development department.
- (b) *Installation of landscaping.* All required landscaping for residential developments shall be treated as public improvements; the developer shall post a letter of credit as surety for the satisfactory completion of these improvements as approved by the Village Board and processed in accordance with the procedures adopted as Resolution 98-13. For non-residential developments, landscaping shall be installed prior to the issuance of a certificate of occupancy. A temporary certificate of occupancy may be issued for non-residential developments with occupancies granted from October 1 to April 30 provided the applicant presents the village with a cash bond to cover the cost of the landscape improvements. The cash bond shall be based upon 150 percent of a certified quote or the bid from the landscape contractor. The expiration date of any such bond shall be no later than November 1 following the issuance of the temporary occupancy permit. The village will call the bond if the subject improvements are not completed by the November 1 date.

**Sec. 106-424. Design standards.**

The following shall establish standards for the landscape improvements required to be installed as part of the development of new subdivisions, buildings, structures and uses of land governed by this chapter:

- (1) *General standards and objectives.* Every development shall provide sufficient landscaping so that:
  - a. Neighboring properties are shielded from the negative visual influence of that development.
  - b. The development is shielded from the negative impacts of adjacent uses, including streets or railroads.
  - c. The appearance and desirability of the development contributes to the overall attractiveness and economic health of the village.

- (2) *Minimum landscaped open space.* For each parcel of land to be developed, the minimum landscaped open space shall comply with the standards established in Section 106-425 of this chapter. In zoning districts for which no minimum landscaped open space requirements are specified, a minimum of 15 percent of the total parcel shall be devoted to landscaped open space area. Section 106-425 of this chapter details landscape requirements for various portions of the total landscaped open space.
- (3) *Flexibility in applying standards.* To meet the objectives outlined in subsection (1) of this section, the landscape requirements in this section are hereby established. These standards provide specific requirements for site landscaping. However, the village recognizes that, because of the wide variety of types of developments and the relationships between them, some flexibility in applying the standards set forth in Section 106-425 of this section are appropriate as long as the intent of the specified requirements is met. The Planning and Development Administrator or his/her designee may administratively vary up to 25% of any specific requirement of this chapter. Any deviation of 25 percent or more from the requirements of any specific requirement of this article shall require a variation. Whenever the village allows or requires deviation from the requirements set forth in this section, it shall enter on the face of the landscape plan the reasons for allowing or requiring deviation from the requirements of this section.

**Sec. 106-425. Required landscaping.**

- (1) *Requirements for specific areas.* This article regulates landscaping of seven distinct areas of a parcel as follows: exterior parkway, interior parkway, perimeter area, foundation area, parking lots, site interior, and stormwater management areas. Figures 1 and 2 provide graphic illustrations of each area. Some landscaping quantities are given in plant units. Table 2 provides plant unit values for plant types. All parcels subject to landscaping requirements must incorporate a minimum number of plant species in the design as shown in table 3.

TABLE 2: PLANT UNIT VALUES

Plant Type	Unit Value Per Plant
Large Deciduous Tree (Overstory)	10
Evergreen Tree	5
Ornamental Tree (Understory)	5
Large Shrub (48" and greater in height)	2
Medium Shrub (Over 24" and under 48")	1
Small Shrub (Under 24 " in height)	½
Ground Cover, annuals, and perennials (excludes seed and sod)	½ per 10 square yards

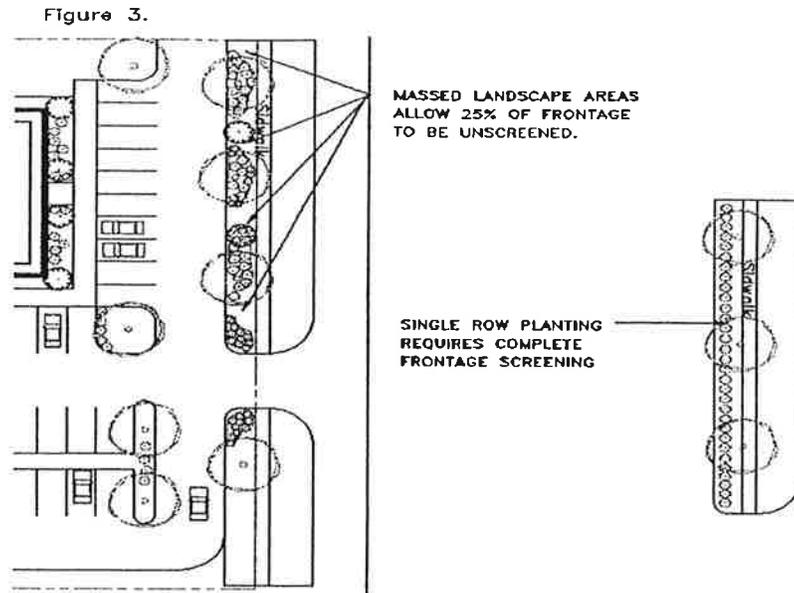
\* Note: Where a linear length may result in a fraction of a plant unit required, the required number of plant units shall be rounded up to the next whole value. Height is at time of planting.

TABLE 3: REQUIRED NUMBER OF SPECIES

Parcel Size	Number of Shrub Species	Number of Tree Species
Under 5 acres	5	2
5 acres up to but not including 15 acres	7	4
15 acres up to but not including 30 acres	9	5
30 acres or more	11	7

(2) Each area shall be landscaped in accordance with the following criteria:

- a. *Exterior parkway landscaping.* Except for access drives, exterior parkways shall be landscaped per the following requirements:
  1. *Number of Trees.* One tree shall be required for each 40 lineal feet of street frontage.
  2. *Location.* Trees shall be planted halfway between the curb and sidewalk, no less than 30 feet apart, at least 10 feet from all driveways, streetlights and fire hydrants. No tree shall be planted closer than 30 feet to the intersection of two right-of-way lines and/or edge of private road easements.
  3. *Size.* Trees planted shall be at least 2 ½ inches in caliper measured six inches above grade.
  4. *Species.* All trees planted in exterior parkways shall be chosen from the list of large deciduous trees found in table 6, section 106-427.
  5. All trees shall comply with the specifications found in chapter 78, article IV, section 78-145.
  
- b. *Interior parkway landscaping.* An interior parkway shall be provided in all nonresidential zoning districts with the depths specified in table 1, above. Except for access drives, interior parkways shall be landscaped as follows:
  1. *Sites with parking between a public right-of-way or private road easement and the building .* Where parking is provided between a public right-of-way or private road easement and the building, landscaping in a quantity equal to seventy-five (75) plant units per one hundred (100) lineal feet of perimeter length shall be provided. Species and design considerations shall determine plant spacing. A maximum of 25 percent of the parking lot frontage may be left unscreened to permit design flexibility (see figure 3). However, when the landscape plan indicates a single row of shrubs, the entire parking lot frontage shall be screened. The remainder of the interior parkway shall be planted with ground cover, flowers or grass. Whenever the grade level of a parking lot after construction is three feet or more below the existing grade of the adjacent public street or private road, the required number of plant units in the interior parkway shall be 50.



2. *Sites without parking between a public right-of-way or private road easement and the building.* Where no parking spaces will be located between a public right-of-way or private road easement and the building, landscaping in a quantity equal to fifty (50) plant units per one hundred (100) lineal feet of perimeter length shall be provided. Species and design considerations shall determine plant spacing. The remainder of the interior parkway shall be planted with shrubs, ground cover, flowers or grass.

c. *Perimeter landscape area.*

1. *Generally.* The appropriateness of proposed perimeter landscaping will depend upon the relationship between the proposed use of the property and adjacent properties, and adjacent street classification. Three types of perimeter screening have been defined. Type 1 screening shall generally be required between residential and nonresidential uses. Type 2 perimeter landscape screening shall generally be required to provide screening of parking areas between adjacent nonresidential uses. Type 3 perimeter landscape screening shall generally be required between multi-family uses and all other residential areas, and for all residential developments adjacent to an arterial or collector as designated in the Comprehensive Plan. For any screening with a wood or masonry fence, required landscape elements must be installed between the fence and the property line. No perimeter landscaping shall be installed in the public right-of-way or on land designated for private roads.
2. *Required screening when adjacent property is developed.* Tables 4 and 5 in this section shall be used to determine the requirements for perimeter screening between uses. Where the adjacent property has already been developed, the required screening shall be governed by the existing use. Table 4 details screening and buffering requirements where the adjacent

property has been developed. In cases where a mixed-use development exists on the adjacent parcel, the predominant use on that site shall determine the required screening.

TABLE 4. PERIMETER SCREENING REQUIREMENTS ADJACENT TO EXISTING USE

Adjacent Property Existing Use

Proposed Use	Single- Or two-family residence	Multifamily residence	Office	Commercial	Industrial	Public
Single- or two-family residence, detached	3*	3*	3*	3*	3*	3*
Multifamily residence	3	2*	3*	3*	3	3*
Office	1	2	2	2	2	2
Commercial	1	1	2	2	2	2
Industrial	1	1	2	2	2	2
Public	2	2	2	2	2	2

Notes:

1. Type 1 screening.
2. Type 2 screening.
- 2\*. Type 2 screening unless site is adjacent to an arterial or collector designated in the Comprehensive Plan, in which case type 3 screening shall be required.
3. Type 3 screening.
- 3\*. Type 3 screening shall only be required when the site is adjacent to an arterial or collector designated in the Comprehensive Plan.

When a proposed use is adjacent to a property zoned PUD, the zoning administrator shall determine appropriate screening required based on the most appropriate standard zoning district.

3. *Required screening when adjacent property is undeveloped.* Table 5 in this section shall be used to determine required screening where the adjacent property is undeveloped. Current county or village zoning shall determine the appropriate screening treatment unless the property is zoned Ag, in which case the comprehensive plan shall be used to determine the anticipated use and the resulting screening requirements.

TABLE 5 . PERIMETER SCREENING REQUIREMENTS ADJACENT TO UNDEVELOPED PROPERTY

Adjacent Property Existing Zoning

Proposed Use	E	R	R-1	R-2A	R-2	R-3	R-4	R-5	C-1	C-2	C-3	C-4	C-5	C-6	C-7	I-1
Single- or two-family residence, detached	3*	3*	3*	3*	3*	3*	3*	3*	3*	3*	3*	3*	3*	3*	3*	3*
Multifamily residence	3	3	3	3	3	3	2*	2*	2*	2*	2*	2*	2*	2*	2*	2*
Office	1	1	1	1	1	1	2	2	2	2	2	2	2	2	2	2
Commercial	1	1	1	1	1	1	1	1	2	2	2	2	2	2	2	2
Industrial	1	1	1	1	1	1	1	1	2	2	2	2	2	2	2	2
Public	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2

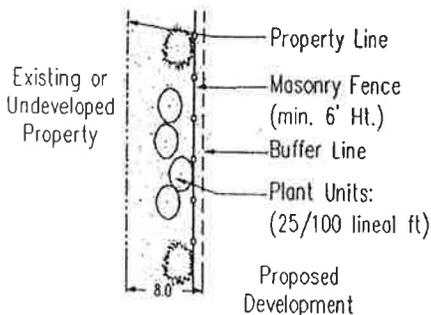
Notes:

1. Type 1 screening.
2. Type 2 screening.
- 2\*. Type 2 screening unless site is adjacent to an arterial or collector designated in the Comprehensive Plan, in which case type 3 screening shall be required.
3. Type 3 screening.
- 3\*. Type 3 screening shall only be required when the site is adjacent to an arterial or collector designated in the Comprehensive Plan.

When a proposed use is adjacent to a property zoned PUD, the zoning administrator shall determine appropriate screening required based on the most appropriate standard zoning district.

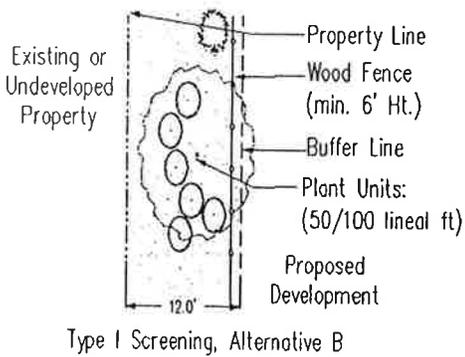
4. *Type 1 screening.* Type 1 perimeter landscape requirements are designed to provide a substantial buffer between uses. Where type 1 screening is required on tables 4 or 5, one of the following three buffering alternatives shall be required. The property owner may select the buffering alternative that best meets the configuration of the site and the proposed development. All fences, walls and hedges shall comply with section 106-11(7).

- i. *Alternate A:* The buffering area shall be a minimum of eight feet in width for this alternative. An opaque brick or other approved masonry wall six feet high shall be constructed along the entire perimeter, excluding the area within the required front yard setback. The wall may be continued within the front yard provided the height is reduced to three feet. If the proposed usage is for a mining operation or for a related building or structure for screening, crushing, mining, washing or storage, the required masonry wall shall be eight feet high. In addition, landscaping in a quantity equal to twenty-five (25) plant units per one hundred (100) lineal feet of perimeter length shall be provided. Species and design considerations shall determine plant spacing. A minimum of 30% of the required plant units must be from evergreen species.

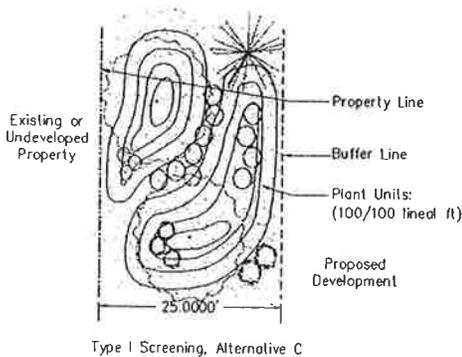


Type 1 Screening, Alternative A

- ii. Alternate B: A minimum 12-foot buffer area shall be required for this alternative. A fence of wood or other approved material six feet high and at least 75 percent opaque shall be constructed along the entire perimeter, excluding the area within the required front yard setback. The fence may be continued within the front yard provided the height is reduced to three feet. If the proposed use is for a mining operation or for a related building or structure for screening, crushing, mining, washing or storage, the required wood fence shall be eight feet high. In addition, landscaping in a quantity equal to fifty (50) plant units per one hundred (100) lineal feet of perimeter length shall be provided. Species and design considerations shall determine plant spacing. A minimum of 30% of the required plant units must be from evergreen species.



- iii. Alternate C: A minimum 25-foot buffer area shall be required for this alternative. A berm at least three feet in height measured from both sides with a maximum 3:1 slope shall be constructed along the entire perimeter. Breaks in the berm may be provided as appropriate to accommodate drainage. Landscaping in a quantity equal to one hundred (100) plant units per one hundred (100) lineal feet of perimeter length shall be provided. Species and design considerations shall determine plant spacing. The berm shall be screened along at least 75 percent of the perimeter length. A minimum of 30% of the required plant units must be from evergreen species.

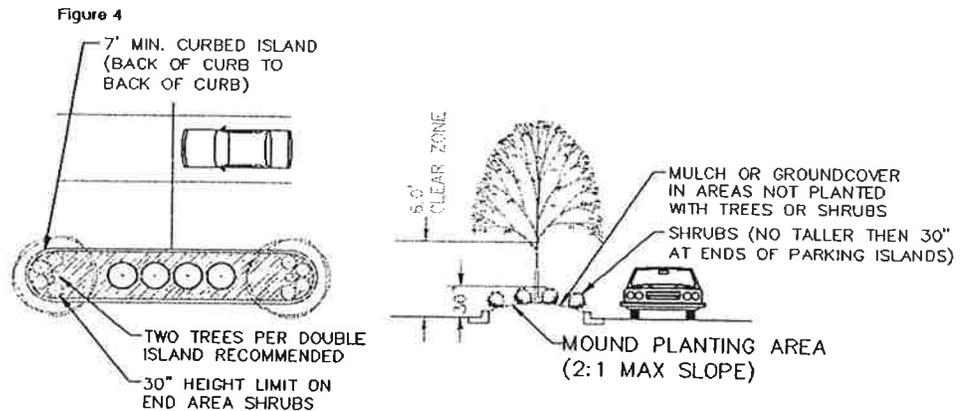


5. *Type 2 screening.* Type 2 perimeter landscape screening is generally required between adjacent nonresidential uses to screen parking areas from adjacent uses. A minimum 10-foot buffer area shall be required for this type. Where a parking lot will be placed along a perimeter such that parked cars will face the abutting property, landscaping in a quantity equal to fifty (50) plant units per one hundred (100) lineal feet of perimeter length shall be provided. A minimum of 30% of the required plant units must be from evergreen species. Species and design considerations shall determine plant spacing. Landscape screening shall be continuous along the entire parking area. Shrubs shall be a minimum of three feet in height when planted to screen a parking lot from adjacent nonresidential uses. If the proposed use is for a mining operation or for a related building or structure for screening, crushing, mining, washing or storage, an eight-foot-high fence or wall shall be provided along the perimeter in lieu of parking lot screening.
6. *Type 3 screening.* Type 3 perimeter landscape screening is generally required between multi-family uses and all other residential areas, and for all residential developments adjacent to an arterial or collector designated in the Comprehensive Plan. Where a type 3 screen is required according

to tables 4 or 5, berming, trees and shrubs shall be provided to create a visual separation between properties. A minimum 20-foot buffer area shall be required for this type. Minimum berm height shall be three feet, with no berm having a slope greater than 3:1. Landscaping in a quantity equal to seventy-five (75) plant units per one hundred (100) lineal feet of perimeter length shall be provided. Species and design considerations shall determine plant spacing. A minimum of 30% of the required plant units must be from evergreen species.

- d. *Foundation area landscaping.* A minimum six-foot wide landscape area is required adjacent to building walls, exclusive of driveways, access walks, and service and delivery areas. Planting should emphasize softening large expanses of building walls, accenting building entrances and architectural features, and screening mechanical equipment. Where extended roofs or canopies are used to provide a covered walkway adjacent to buildings, foundation plantings are not required. However, landscaping is recommended to separate vehicular areas from buildings.
- e. *Parking lot landscaping.* Landscaping shall be required within all parking lots containing 20 or more parking spaces, to meet the following standards:

- 1. There shall be a minimum seven-foot wide (measured from back of curb) curbed planting island at the end of every parking row. The depth of the planting island shall be equal to the depth of the parking stall. There shall be a minimum of one large deciduous tree per island. Branching shall start no less than six feet above the pavement measured from pavement level (see figure 4).

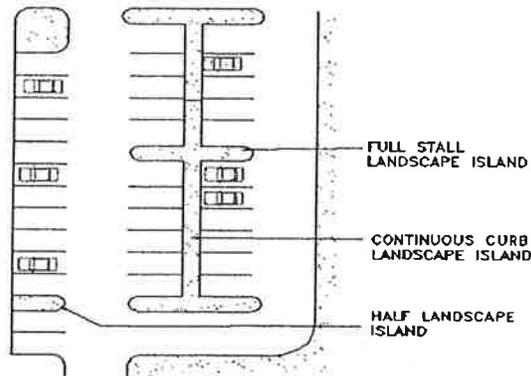


- 2. To break up long expanses of parking rows, landscape islands are required. One of the following three alternatives shall be used to divide rows of 20 or more parking spaces (see figure 5):
  - i. *Alternative A:* A continuous curbed landscape island between rows may be provided in lieu of full stall planting islands between parking bays. Where such a continuous island is provided, it shall

be a minimum of seven feet in width and shall contain a minimum of one large deciduous tree per 20 spaces (see figure 5). Branching shall start no less than six feet above the pavement measured from pavement level.

- ii. Alternative B: A maximum of 20 parking spaces is permitted in any length of parking bay. A curbed island at least seven feet wide, and as deep as the parking stalls, shall be provided to divide the bay length. There shall be a minimum of one large deciduous tree per island. Branching shall start no less than six feet above the pavement, measured from pavement level.
- iii. Alternative C: Smaller curbed islands at the head of and between parking stalls may be permitted. If smaller curbed planting islands are appropriate, they shall be a minimum of 6-1/2 feet by 6-1/2 feet (measured from back of curb to back of curb) and shall be provided at the rate of two small islands for every full-size island required under alternative B. There shall be a minimum of one large deciduous tree per island. Branching shall start no less than six feet above the pavement, measured from pavement level.

Figure 5



- 3. In addition to required trees, an appropriate planting of shrubs, ground cover plants, flowers, sod lawn and mulch shall be provided within all landscape islands. To ensure visibility, shrubs shall not exceed a mature height of 30 inches above the pavement on landscape islands at the end of parking rows.

f. *Site interior landscaping.*

- 1. In developments with more than one structure, the open space between buildings shall be appropriately landscaped to provide:
  - i. Screening of adjacent dwelling units.
  - ii. Screening and shading to improve energy efficiency.
  - iii. A visually appealing living environment.

2. Open space areas within the interior of a site should generally contain a minimum of twenty (20) plant units per 5,000 square feet of open space .

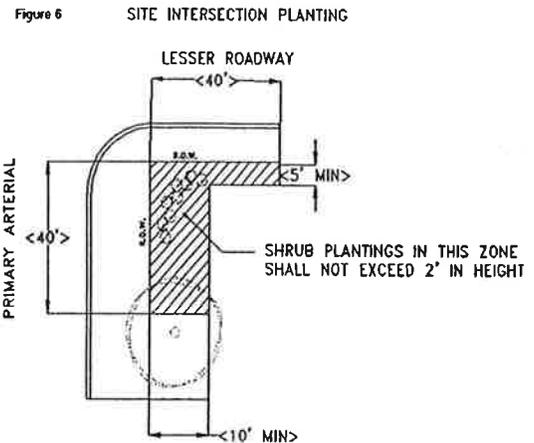
g. *Storm water management areas.*

1. In all zoning districts, storm water management areas shall be appropriately landscaped on all sides adjacent to residential uses or to a public or private roadway.
2. In all residential developments, landscaping in a quantity equal to one hundred (100) plant units per one hundred (100) lineal feet of perimeter length shall be provided along the stormwater area perimeter. In non-residential developments, landscaping in a quantity equal to seventy-five (75) plant units per one hundred (100) lineal feet of perimeter length shall be provided along the storm water area perimeter. Species and design considerations shall determine plant spacing. Designs shall encourage natural groupings of plant elements.
3. If the storm water management screening requirements conflict with requirements for other landscaping areas, then the provisions of this section shall apply.

(3) *Design requirements.* Functional activities within and adjoining the development site must be considered in the design of landscape improvements, including consideration of the following:

- a. *Service area screening.* Service areas shall be screened from view through the use of evergreen plant materials or solid structural, non-plant material walls compatible with the proposed building design.
  1. Trash dumpsters and other waste receptacles or equipment shall be screened with three-sided brick or other approved solid, non-plant material walls at least six feet in height, with a solid, attractive single or double access gate on one side only.
  2. All utility equipment (meters, transformers, etc.) shall be provided with appropriate planting screens. All ground-mounted dish antennas shall be adequately screened from adjoining properties by an opaque wall, fence, hedge or berm.
  3. All garage doors and loading areas shall be fully screened so as not to be visible from adjoining property zoned for any residential use.
  4. All outdoor storage facilities for fuel, raw materials and products within 500 feet of a residential district shall be effectively screened and enclosed by a solid wall or fence at least eight feet in height, and landscape screening shall be provided in addition to the fence or wall, installed along the outside perimeter of the fence or wall, equal to or exceeding the height of the materials to be stored outdoors.

- b. *Intersection visibility.* Landscaping must be designed and installed to minimize potential obstruction of critical sight lines. Landscape planting shall be so designed as to avoid obstruction of a motorist's vision at the intersections of outlet access drives and ring roads, access roads or municipal streets. Unobstructed visibility between two feet and six feet above the height of the paved surface of the access road must be maintained at all intersections. To maintain this visibility, no shrubs or other landscape material which will reach a mature height greater than two feet shall be permitted within ten feet of the right-of-way of a major arterial, or five feet from the right-of-way of a lesser roadway, for a distance of 40 feet from the right-of-way intersection (see figure 6). Trees are not allowed in these critical visibility areas.



- c. *Parking area planters.* All parking area planters shall be over-excavated to a two-foot depth for their entire width and length, shall be backfilled with an appropriate mix of topsoil, peat moss and nutrients to replace the excavated material, and shall be compacted, leaving a crowned or mounded top. Parking area planters shall be maintained so that the level of backfill is consistent with the top of curb.
- d. *Slope of berms.* Berming shall not exceed a maximum slope of 3:1, except in parking islands, where the maximum slopes shall not exceed 2:1.
- e. *Mulch.* Mulch materials shall be shredded bark or other organic material best suited for the area in compliance with the American Standards of Nursery Stock published by the American Association of Nurserymen. Lava rock or large diameter (1 1/2-inch diameter plus) bark chips ("chunk bark") are not acceptable. Gravel and stone mulches are not permitted, unless specifically approved in writing by the village. Mulch beds at the time of planting shall extend a minimum of two feet beyond the center of the shrub. Mulching shall be renewed on an annual basis, at a minimum, to ensure optimum plant health of the landscaping elements.
- f. *Fences.* All wood fences proposed to be used to meet perimeter screening requirements shall be of red cedar, redwood, cypress or other approved decay-resistant treated wood, at least six feet high, and of solid construction. Wood fences shall be not less than 75 percent opaque, with all supporting posts exposed to the lot interior. Stockade type fences are not permitted.

**Sec. 106-426. Standards for plant materials; planting guidelines.**

The following guidelines shall be considered in reviewing design and implementation of landscape plans in conjunction with review of site plans and special use permits:

- (1) *General standards for plant materials.* Materials plans in any development shall comply with the following requirements:
  - a. The quality and size of plant material selected shall comply with the latest edition of the American Standards of Nursery Stock, published by the American Association of Nurserymen, unless otherwise indicated.
  - b. No artificial plants of any type shall be used to meet the requirements of this article in any landscape area within the parcel.
  - c. Minimum sizes for plant materials at time of installation for all landscape areas shall be as follows:
    1. Deciduous trees shall be a minimum size of 2 1/2 inches caliper when installed. Evergreen trees shall be a minimum of six feet in height when installed.
    2. Deciduous shrubs (other than dwarf varieties) shall be a minimum of four feet in height at time of installation if used as a perimeter screen planting, and 30 inches in height for all other installations. Dwarf varieties and plants normally measured by spread shall be a minimum of 24 inches in height/spread.
    3. Ground cover shall be so planted and spaced that complete coverage can be obtained within two years after the date of installation.
  - d. Property owners shall be responsible for maintaining all landscaping shown on the approved landscape plans throughout the life of the development. In particular, landscaping shall be watered as often as needed to maintain optimum plant health. All dead plants shall be replaced with plants that meet original requirements. No changes shall be permitted without the approval of the village staff. Annual flowerbeds shall be replanted each year with flowers adapted to the village.
- (2) *Guidelines for planting trees.* The trees recommended in subsection (4) of this section have minimal maintenance requirements. However, all trees must receive a certain degree of care, especially during and immediately after planting. To protect an investment in a new tree, the developer shall ensure that proper horticultural techniques are followed. The following recommendations are provided as a guide for planting based on current horticultural practice:
  - a. The best times for planting are early spring and each fall.
  - b. Planted trees and shrubs shall be at least three feet from the back of curb along head-in parking spaces to prevent damage from car overhangs. Mulch, lawn or

planted ground cover shall be utilized in this three-foot area. Aligning trees with the strip between parking stalls will further help avoid damage.

- c. Tree pits should be dug at least one foot wider than the root ball.
  - d. Especially in areas where construction activity compacted the soil, the bottom of the pit shall be scarified or loosened with a pickaxe or shovel.
  - e. After a pit is dug, subsurface drainage conditions should be observed. Where poor drainage exists, special provisions shall be made to ensure proper drainage around the tree.
  - f. Backfill shall include a proper mix of soil, peat moss and nutrients. All roots must be completely covered. Backfill shall be thoroughly watered as it is placed around the roots.
  - g. Plants shall remain plumb and level. Newly planted trees must be supported with stakes and ties to hold the tree firmly in place. Stakes and ties should be removed after one year.
  - h. At least two inches of mulch should be spread over plant beds in order to retain moisture and keep down weeds. A three-inch saucer shall be provided to form a basin around the trunk of the tree. This saucer helps catch and retain moisture.
  - i. The lower trunks of new trees must be wrapped with burlap or paper to prevent evaporation and sunscald. The wrapping shall remain on the tree for at least one year.
  - j. Conscientious post-planting care, especially watering, pruning and fertilizing, is a must for street and parking lot trees. Branches of new trees may be reduced by as much as one-third to prevent excessive evaporation.
- (3) *Guidelines for planting shrubs.* Shrubs planted for screening purposes shall be given a proper growing environment. Many of the guidelines for tree planting listed in subsection (2) of this section also apply to shrubs. However, because specific requirements vary considerably between shrub types, this section does not attempt to specify the needs of all shrubs.
- (4) *Recommended trees, shrubs and ground covers.* The lists in table 6 in section 106-427 indicate plantings that will meet the landscape requirements of this article. The lists are by no means comprehensive and are intended merely to suggest the types of flora that would be appropriate for these purposes. Plants were selected for inclusion on these lists according to four principal criteria:
- a. General suitability for the climate and soil conditions of this area;
  - b. Ease of maintenance;
  - c. Tolerance of city conditions; and
  - d. Availability from area nurseries.

**Sec. 106-427. Recommended Trees, Shrubs and Ground Covers.**

TABLE 6 . RECOMMENDED TREES, SHRUBS AND GROUND COVERS

## (1) Large evergreen trees.

Botanical Name	Common Name
<i>Picea abies</i>	Norway Spruce
<i>Picea pungens</i>	Colorado Spruce
<i>Picea glauca</i>	White Spruce
<i>Pinus strobus</i>	Eastern White Pine
<i>Pinus nigra</i>	Austrian Pine

## (2) Large deciduous trees.

Botanical Name	Common Name
<i>Acer platanoides</i>	<i>Norway Maple</i>
<i>Acer rubrum</i>	<i>Red Maple</i>
<i>Acer saccharum</i>	<i>Sugar Maple</i>
<i>Acer nigrum</i> var.	Black Maple
<i>Corylus columa</i>	Turkish Filbert
<i>Ginkgo biloba</i> (male only)	Ginkgo or Maidenhair Tree
<i>Gleditsia triacanthos inermis</i>	<i>Thornless Honey Locust</i>
<i>Liriodendron tulipifera</i>	Tulip Tree
<i>Quercus rubra</i>	Red Oak
<i>Quercus macrocarpa</i>	Burr Oak
<i>Quercus palustris</i>	Pin Oak
<i>Quercus velutina</i>	Black Oak
<i>Tilia cordata</i>	<i>Littleleaf Linden</i>
<i>Tilia tormentosa</i>	Silver Linden
<i>Tilia americana</i>	<i>American Linden</i>
<i>Tilia euchlora "Redmond"</i>	<i>Redmond Linden</i>
<i>Tilia vulgaris</i>	<i>European Linden</i>
<i>Fraxinus pennsylvanica</i>	<i>Green Ash</i>
<i>Fraxinus americana</i> 'Autumn Purple'	<i>Autumn Purple White Ash</i>
<i>Fraxinus americana</i> var.	White Ash
<i>Fraxinus excelsior</i>	European Ash
<i>Fraxinus quadrangulata</i>	Blue Ash
<i>Platanus scerifolia</i>	London Plane Tree
<i>Pyrus calleryana</i>	<i>Callery Pear</i>

## (3) Small deciduous trees.

Botanical Name	Common Name
Malus species	Crabapple
Carpinus caroliniana	American Hornbeam
Cercis canadensis	Eastern Redbud
Cornus mas	Cornelian Cherry
Cornus alternifolia	Pagoda Dogwood
Crataegus species	Hawthorn – Thornless varieties only
Magnolia x soulangiana	Saucer Magnolia
Amelanchier x grandiflora	Apple Serviceberry
<i>Pyrus calleryana</i>	<i>Callery Pear</i>
<i>Syringa reticulata</i>	<i>Japanese Tree Lilac</i>
Acer ginnala	Amur Maple
Acer campestre	Hedge Maple
Alnus glutinosa	European Black Alder
Carpinus carolina	American Hornbeam
Corylus cornuta	Hazelnut
Magnolia x loebneri "Merrill"	Merrill Loebner Magnolia
Magnolia soulangeana	Saucer Magnolia
Magnolia stellata	Star Magnolia

## (4) Large deciduous shrubs.

Botanical name	Common Name
Acer ginnala 'Compactum'	Compact Amur Maple
Aesculus parviflora	Bottlebrush Buckeye
Berberis thunbergii	Japanese Barberry
Chionanthus virginicus	White Fringetree
Forsythia species	Forsythia
Cotinus coggygria	Smokebush
Cottoneaster lucidus	Hedge Cottoneaster
Hamamelis virginiana	Common Witch Hazel
Rhamnus frangula 'Asplenifolia'	Cutleaf Glossy Buckthorn
Spiraea x vanhouttei	Vanhoutte Spirea
Cornus species	Dogwood
Syringa species	Lilac
Myrica pennsylvanica	Bayberry
Viburnum dentatum	Arrowwood Viburnum
Viburnum lantana	Wayfaringtree Viburnum
Viburnum opulus	European Cranberrybush Viburnum
Viburnum sieboldii	Siebold Viburnum
Viburnum trilobum	American Cranberrybush Viburnum
Euonymus alatus	Burningbush

## (5) Large evergreen shrubs.

Botanical Name	Common Name
<i>Thuja occidentalis</i> 'Techny'	Techny Arborvitae
<i>Juniperus</i>	Upright Juniper
<i>Taxus cuspidata</i> 'Hicksii'	Hick's Yew

## (6) Small evergreen shrubs.

Botanical Name	Common Name
<i>Pinus mugo</i>	Mugo Pine
<i>Thuja</i> species	Arborvitae (Globe, Little Gem, etc.)
<i>Juniperus</i> species	Juniper (Armstrong, Pfitzer, etc.)
<i>Taxus</i> species	Yew
<i>Buxus microphylla</i>	Boxwood
<i>Picea abies</i> 'Nidiformus'	Bird's Nest Spruce

## (7) Small deciduous shrubs.

Botanical Name	Common Name
<i>Berberis thunbergii</i> 'Crimson Pigmy'	Crimson Pigmy Barberry
<i>Forsythia</i> x <i>intermedia</i> 'Arnold Dwarf'	Arnold Dwarf Forsythia
<i>Spirea</i> x <i>bumalda</i>	Bumalda Spirea (also Anthony Waterer, Frobelii, and Gold Flame)
<i>Euonymus alatus</i> 'Compacta'	Dwarf Burningbush
<i>Ribes alpinum</i> 'Green Mound'	Green Mound Alpine Currant
<i>Potentilla fruticosa</i>	Bush Cinquefoil
<i>Viburnum carlesii</i> 'Compactum'	Compact Korean-spice Viburnum
<i>Viburnum opulus</i> 'Compactum'	Compact Cranberrybush Viburnum

## (8) Ground covers.

Botanical Name	Common Name
<i>Euyonumus fortunei</i> 'Coloratus'	Purpleleaf Wintercreeper
<i>Hedera helix</i> 'Thorndale'	Thorndale English Ivy
<i>Pachysandra terminalis</i>	Japanese Pachysandra
<i>Vinca minor</i>	Periwinkle
<i>Ajuga reptans</i>	Ajuga

## Notes:

Trees listed in italics are recommended for use as street trees or in parking areas.

Trees used in parking areas and as street trees shall be of a fruitless species.

Ordinance No. 1370

Section 2: Severability: That each section and part hereof of this ordinance is deemed to be severable and should any section or part hereof be held invalid or unconstitutional by any court of competent jurisdiction, such ruling shall not affect the validity of constitutionality of the remaining portion(s) of this ordinance.

Section 3: Repeal of Inconsistent Ordinances: That all ordinances or parts thereof in conflict with the terms of this ordinance are hereby repealed and of no further force and effect to the extent of any such conflict.

Section 4: Publication: That the Village Clerk is hereby directed to publish this ordinance in pamphlet form.

Section 5: Effective Date: That this ordinance shall be in full force and effect after its passage, approval and publication in pamphlet form as provided by law.

PASSED THIS 11<sup>th</sup> day of December, 2001

with six members voting AYE, with -0- members voting NAY, and with

-0- members ABSENT, the Mayor voting aye; and said vote being BATSON aye,

BALDERMANN aye, BOWDEN aye, SMITH aye, SKINIOTES aye, and

WEIGEL aye.

Marcia Longert  
VILLAGE CLERK

APPROVED this 12<sup>th</sup> day of December, 2001.

Don Smith  
MAYOR

ATTEST:

Marcia Longert  
VILLAGE CLERK