

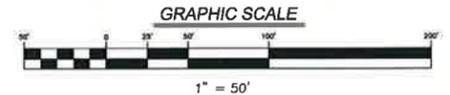
P.U.D. FINAL PLAT  
FOR  
NEC RTE. 30 / VANCINA  
NEW LENOX, IL.

PIN: 08-24-100-012  
08-24-100-030

BEING A SUBDIVISION OF PART OF THE NORTHWEST QUARTER OF SECTION 24, TOWNSHIP  
35 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.



VICINITY MAP  
NOT TO SCALE



BASIS OF BEARINGS

ASSUMED THE EASE LINE OF THE THE  
NORTHWEST QUARTER OF SECTION 24 TO BE:  
N 01° 33' 57" W

AREA

LOT 1	- 164,554 SQ. FT.	3.7776 ACRES
LOT 2	- 32,094 SQ. FT.	0.7368 ACRES
LOT 3	- 55,792 SQ. FT.	1.2808 ACRES
OUTLOT	- 24,916 SQ. FT.	0.5720 ACRES
TOTAL	- 277,356 SQ. FT.	6.3672 ACRES



NOTES:

1. ONCE THE PLAT SHOWN HEREON IS RECORDED AND  
UPON COMPLETION OF CONSTRUCTION, 3/4" IRON PIPES  
WITH PLASTIC CAPS SHALL BE SET AT ALL LOT  
CORNERS AND CHANGES IN GEOMETRY, UNLESS SHOWN  
OTHERWISE.

LEGEND

- PROPERTY LINE
- EXISTING RIGHT-OF-WAY LINE
- PROPOSED RIGHT-OF-WAY LINE
- EXISTING LOT LINE
- PROPOSED LOT LINE
- EX. & PRO. CENTERLINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- EX. & PRO. BUILDING SETBACK LINE
- SECTION LINE



SECTION CORNER

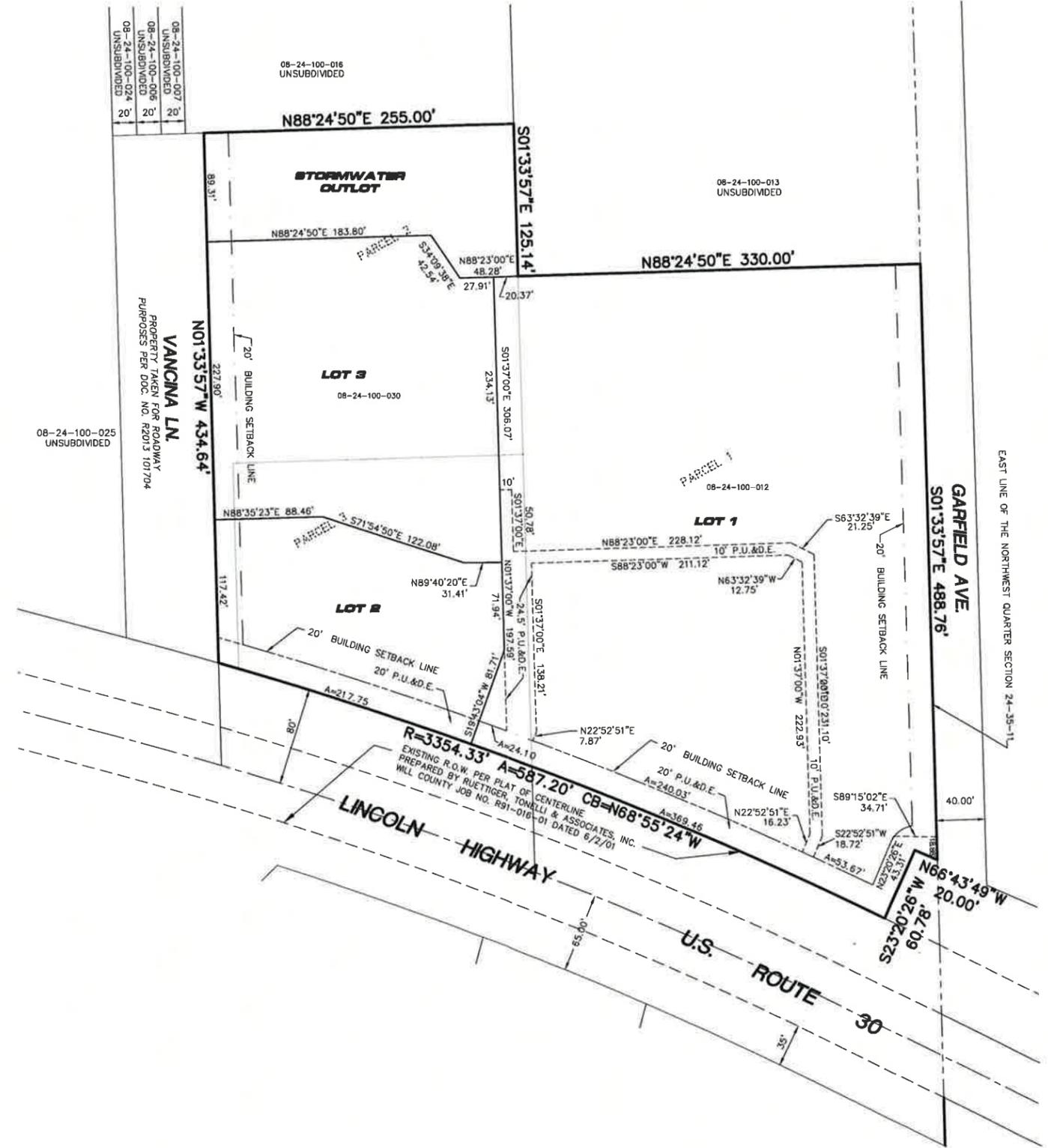


QUARTER SECTION CORNER

- ⊠ FOUND DISK IN CONCRETE
- ⊙ FOUND BRASS DISC
- ⊠ FOUND ROW MARKER
- ⊙ FOUND IRON ROD
- ⊙ FOUND RAILROAD SPIKE
- ⊙ FOUND PK NAIL
- ⊙ FOUND MAG NAIL
- + FOUND CUT CROSS
- ⊙ FOUND IRON PIPE
- ⊙ FOUND IRON BAR
- ⊙ SET TRAVERSE POINT
- ⊙ SET PK NAIL
- ⊙ SET MAG NAIL
- ⊙ SET IRON PIPE
- ⊙ SET CONCRETE MONUMENT WITH BRASS DISC
- ⊙ SET CONCRETE MONUMENT WITH IRON PIPE

ABBREVIATIONS

- N NORTH
- S SOUTH
- E EAST
- W WEST
- CB CHORD BEARING
- A ARC LENGTH
- R RADIUS
- U.E. UTILITY EASEMENT
- P.U.E. PUBLIC UTILITY EASEMENT
- D.E. DRAINAGE EASEMENT
- M.U.E. MUNICIPAL UTILITY EASEMENT
- I.E. INGRESS & EGRESS EASEMENT
- PC POINT OF CURVATURE
- PCC POINT OF COMPOUND CURVATURE
- PRC POINT OF REVERSE CURVATURE
- PT POINT OF TANGENCY
- (REC) RECORD DATUM
- MEAS. MEASURED DATUM
- [CALC] CALCULATED DATUM
- <DEED> INFORMATION TAKEN FROM DEED
- ETBE EXCEPTION TO BLANKET EASEMENT



08-24-100-007	20'	UNSUBDIVIDED
08-24-100-008	20'	UNSUBDIVIDED
08-24-100-024	20'	UNSUBDIVIDED

PROPERTY TAKEN FOR ROADWAY  
PURPOSES PER DOC. NO. R2013 101704

VANCINA LN.  
N01°33'57"W 434.64'

08-24-100-025  
UNSUBDIVIDED



Engineers  
Scientists  
Surveyors

PREPARED FOR:  
NEW LENOX IL (NEC RTE.30/VANCINA) LLC  
1400 16TH STREET, SUITE 300  
OAK BROOK, IL. 60523  
630-617-9100

REVISIONS		REVISIONS			
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1.	12/18/2013	REVISED PER CLIENT COMMENTS			
2.	01/09/2014	REVISED LOT AREAS			

P.U.D. FINAL PLAT			
NEC RTE. 30 / VANCINA			
DRAFTING COMPLETED:	12/17/13	DRAWN BY:	EJM
FIELD WORK COMPLETED:		CHECKED BY:	AJS
		PROJECT MANAGER:	AJS
		SCALE:	1" = 50'

Project No:	13043.INSITE
Group No:	VP04.1
SHEET NO.	1 of 2

**P.U.D. FINAL PLAT  
FOR  
NEC RTE. 30 / VANCINA  
NEW LENOX, IL.**

BEING A SUBDIVISION OF PART OF THE NORTHWEST QUARTER OF SECTION 24, TOWNSHIP  
35 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

**OWNERS CERTIFICATES**

STATE OF ILLINOIS )  
 ) SS  
COUNTY OF WILL )

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE OWNER OF THE LAND DESCRIBED IN THE PUD FINAL PLAT, AND HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED, AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED. THE UNDERSIGNED HEREBY DEDICATES FOR PUBLIC USE, THE LANDS SHOWN ON THIS PLAT FOR THE THOROUGHFARES, STREETS, AND PUBLIC SERVICES; AND HEREBY ALSO RESERVES FOR THE ILLINOIS BELL TELEPHONE COMPANY, THE NORTHERN ILLINOIS GAS COMPANY, THE COMMONWEALTH EDISON COMPANY, AMERICAN CABLE SYSTEMS MIDWEST, AND THE VILLAGE OF NEW LENOX, EASEMENT PROVISIONS WHICH ARE ATTACHED HERETO.

TITLE \_\_\_\_\_

ADDRESS \_\_\_\_\_

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

**NOTARY CERTIFICATE**

STATE OF ILLINOIS )  
 ) SS  
COUNTY OF WILL )

I, \_\_\_\_\_, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT \_\_\_\_\_ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGE THAT THEY SIGNED THIS PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NOTARY PUBLIC \_\_\_\_\_

**SCHOOL DISTRICT CERTIFICATE**

WE ALSO AS OWNER OF THE PROPERTY DESCRIBED AS THE NEC RTE. 30 / VANCINA AND LEGALLY DESCRIBED ON THE PLAT OF THE SAME NAME, HAVE DETERMINED TO THE BEST OF MY KNOWLEDGE THE SCHOOL DISTRICT IN WHICH EACH OF THE FOLLOWING LOTS LIES.

LOT NUMBER(S)	SCHOOL DISTRICTS
ALL	ELEMENTARY NO. 122 HIGH SCHOOL NO. 210

**CERTIFICATE OF PLANNING & ZONING COMMISSION**

STATE OF ILLINOIS )  
 ) SS  
COUNTY OF WILL )

I, \_\_\_\_\_, CHAIRMAN OF THE VILLAGE PLANNING & ZONING COMMISSION, CERTIFY THAT ON \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, THIS PLAT OF SUBDIVISION WAS DULY APPROVED BY THE PLANNING & ZONING COMMISSION.

CHAIRMAN, PLANNING & ZONING COMMISSION \_\_\_\_\_

**WILL COUNTY CLERK CERTIFICATE**

STATE OF ILLINOIS )  
 ) SS  
COUNTY OF WILL )

I, \_\_\_\_\_, COUNTY CLERK OF WILL COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THIS PLAT.

GIVEN UNDER MY HAND AND SEAL AT JOLIET, WILL COUNTY, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

COUNTY CLERK \_\_\_\_\_

**CERTIFICATE AS TO SPECIAL ASSESSMENTS**

STATE OF ILLINOIS )  
 ) SS  
COUNTY OF WILL )

I, \_\_\_\_\_, VILLAGE TREASURER OF THE VILLAGE OF NEW LENOX, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENT THEREOF THAT HAVE BEEN APPOINTED AGAINST THE TRACT OF LAND INCLUDED IN THE PLAT, DATED AT NEW LENOX, WILL COUNTY, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

VILLAGE TREASURER \_\_\_\_\_

NOTARY PUBLIC \_\_\_\_\_

**VILLAGE CLERK'S CERTIFICATE**

STATE OF ILLINOIS )  
 ) SS  
COUNTY OF WILL )

I, \_\_\_\_\_, VILLAGE CLERK OF THE VILLAGE OF NEW LENOX, WILL COUNTY, ILLINOIS, HEREBY CERTIFY THAT THIS PLAT WAS PRESENTED TO AND BY RESOLUTION DULY APPROVED BY THE VILLAGE PRESIDENT AND BOARD OF TRUSTEES OF SAID VILLAGE AT ITS MEETING HELD ON \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, AND THAT THE REQUIRED BOND OR OTHER GUARANTEE HAS BEEN POSTED FOR THE COMPLETION OF THE IMPROVEMENTS REQUIRED BY THE REGULATIONS OF SAID VILLAGE.

BY: \_\_\_\_\_  
VILLAGE CLERK

**ILLINOIS DEPARTMENT OF TRANSPORTATION CERTIFICATE**

THIS PLAT HAS BEEN APPROVED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION WITH RESPECT TO ROADWAY ACCESS PURSUANT TO PARAGRAPH 2 OF "AN ACT TO REVISE THE LAW IN RELATION TO PLATS," AS AMENDED. A PLAN THAT MEETS THE REQUIREMENTS CONTAINED IN THE DEPARTMENT'S "POLICY ON PERMITS FOR ACCESS DRIVEWAYS TO STATE HIGHWAYS" WILL BE REQUIRED BY THE DEPARTMENT

DISTRICT ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

PRINTED NAME \_\_\_\_\_

**EASEMENT APPROVED AND ACCEPTED**

COMMONWEALTH EDISON COMPANY  
BY: \_\_\_\_\_ DATE \_\_\_\_\_

AMERITECH  
BY: \_\_\_\_\_ DATE \_\_\_\_\_

NORTHERN ILLINOIS GAS COMPANY  
BY: \_\_\_\_\_ DATE \_\_\_\_\_

CABLE TV  
BY: \_\_\_\_\_ DATE \_\_\_\_\_

TITLE: \_\_\_\_\_

**PUBLIC UTILITY AND DRAINAGE EASEMENT PROVISIONS = (P.U.&D.E.)**

A PERPETUAL EASEMENT APPURTENANT IS HEREBY GRANTED TO THE VILLAGE OF NEW LENOX, WILL COUNTY ILLINOIS, ITS SUCCESSORS AND ASSIGNS, OVER, UPON, ACROSS, THROUGH AND UNDER THOSE PORTIONS OF THE ABOVE DESCRIBED REAL ESTATE DESIGNATED PUBLIC UTILITY AND DRAINAGE EASEMENTS ON THIS PLAT FOR THE PURPOSE OF INSTALLING, LAYING, CONSTRUCTING, OPERATING, MAINTAINING, REPAIRING, RENEWING AND REPLACING WATERMAINS AND SANITARY SEWER LINES STORM SEWER, STREET LIGHT, CABLE AND ANY OTHER VILLAGE UTILITIES, TOGETHER WITH ALL APPURTENANT STRUCTURES, INCLUDING, BUT NOT LIMITED TO, MANHOLES, WET WELLS, LIFT STATIONS, FIRE HYDRANTS, VALVE VAULTS, AND ANY AND ALL OTHER FIXTURES AND EQUIPMENT REQUIRED FOR THE PURPOSE OF SERVING THE ABOVE DESCRIBED REAL ESTATE WITH WATER SERVICE, SANITARY SEWER SERVICE, STORM WATER COLLECTION, STREET LIGHTING AND OTHER MUNICIPAL SERVICES AND FOR THE PURPOSE OF PROVIDING INGRESS TO AND EGRESS FROM THE PROPERTY SHOWN HEREON FOR EMERGENCY VEHICLES OF ANY AND ALL TYPES WHATSOEVER. IN NO EVENT SHALL ANY PERMANENT BUILDING BE PLACED UPON THE SAID EASEMENT AREAS, BUT THEY MAY BE USED FOR PARKING, DRIVE ISLES, GARDENS, SHRUBS, LANDSCAPING AND SUCH OTHER PURPOSES THAT DO NOT, AND WILL NOT IN THE FUTURE, INTERFERE UNREASONABLY WITH THE EASEMENT RIGHTS HEREIN GRANTED TO THE VILLAGE OF NEW LENOX.

**EASEMENT PROVISIONS**

AN EASEMENT FOR SERVING THE SUBDIVISION AND OTHER PROPERTY WITH ELECTRIC AND COMMUNICATION SERVICE IS HEREBY RESERVED FOR AND GRANTED TO

COMMONWEALTH EDISON COMPANY  
AND  
SBC TELEPHONE COMPANY, GRANTEEES,

THEIR RESPECTIVE LICENSEES, SUCCESSORS AND ASSIGNS JOINTLY AND SEVERALLY, TO CONSTRUCT, OPERATE, REPAIR, MAINTAIN, MODIFY, RECONSTRUCT, REPLACE, SUPPLEMENT, RELOCATE AND REMOVE, FROM TIME TO TIME, POLES, GUYS, ANCHORS, WIRES, CABLES, CONDUITS, MANHOLES, TRANSFORMERS, PEDESTALS, EQUIPMENT CABINETS OR OTHER FACILITIES USED IN CONNECTION WITH OVERHEAD AND UNDERGROUND TRANSMISSION AND DISTRIBUTION OF ELECTRICITY, COMMUNICATIONS, SOUNDS AND SIGNALS IN, OVER, UNDER, ACROSS, ALONG AND UPON THE SURFACE OF THE PROPERTY SHOWN WITHIN THE DASHED OR DOTTED LINES (OR SIMILAR DESIGNATION) ON THE PLAT AND MARKED "EASEMENT", "UTILITY EASEMENT", "PUBLIC UTILITY EASEMENT", "P.U.E." (OR SIMILAR DESIGNATION), THE PROPERTY DESIGNATED IN THE DECLARATION OF CONDOMINIUM AND/OR ON THIS PLAT AS "COMMON ELEMENTS", AND THE PROPERTY DESIGNATED ON THE PLAT AS "COMMON AREA OR AREAS", AND THE PROPERTY DESIGNATED ON THE PLAT FOR STREETS AND ALLEYS, WHETHER PUBLIC OR PRIVATE, TOGETHER WITH THE RIGHTS TO INSTALL REQUIRED SERVICE CONNECTIONS OVER OR UNDER THE SURFACE OF EACH LOT AND COMMON AREA OR AREAS TO SERVE IMPROVEMENTS THEREON, OR ON ADJACENT LOTS, AND COMMON AREA OR AREAS, THE RIGHT TO CUT, TRIM OR REMOVE TREES, BUSHES, ROOTS AND SPROUTS AND TO CLEAR OBSTRUCTIONS FROM THE SURFACE AND SUBSURFACE AS MAY BE REASONABLY REQUIRED INCIDENT TO THE RIGHTS HEREIN GIVEN, AND THE RIGHT TO ENTER UPON THE SUBDIVIDED PROPERTY FOR ALL SUCH PURPOSES. OBSTRUCTIONS SHALL NOT BE PLACED OVER GRANTEEES' FACILITIES OR IN, UPON OR OVER THE PROPERTY WITHIN THE DASHED OR DOTTED LINES (OR SIMILAR DESIGNATION) MARKED "EASEMENT", "UTILITY EASEMENT", "PUBLIC UTILITY EASEMENT", "P.U.E." (OR SIMILAR DESIGNATION) WITHOUT THE PRIOR WRITTEN CONSENT OF GRANTEEES. AFTER INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF THE SUBDIVIDED PROPERTY SHALL NOT BE ALTERED IN A MANNER SO AS TO INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE THEREOF.

THE TERM "COMMON ELEMENTS" SHALL HAVE THE MEANING SET FORTH FOR SUCH TERM IN THE "CONDOMINIUM PROPERTY ACT", CHAPTER 765 ILCS 605/2(C), AS AMENDED FROM TIME TO TIME.

THE TERM "COMMON AREA OR AREAS" IS DEFINED AS A LOT, PARCEL OR AREA OF REAL PROPERTY, THE BENEFICIAL USE AND ENJOYMENT OF WHICH IS RESERVED IN WHOLE OR AS AN APPORTIONMENT TO THE SEPARATELY OWNED LOTS, PARCELS OR AREAS WITHIN THE PLANNED DEVELOPMENT, EVEN THOUGH SUCH BE OTHERWISE DESIGNATED ON THE PLAT BY TERMS SUCH AS "OUTLOTS", "COMMON ELEMENTS", "OPEN SPACE", "COMMON GROUND", "PARKING" AND "COMMON AREA". THE TERM "COMMON AREA OR AREAS" AND "COMMON ELEMENTS" INCLUDE REAL PROPERTY SURFACED WITH INTERIOR DRIVEWAYS AND WALKWAYS, BUT EXCLUDES REAL PROPERTY PHYSICALLY OCCUPIED BY A BUILDING, SERVICE BUSINESS DISTRICT OR STRUCTURES SUCH AS A POOL, RETENTION POND OR MECHANICAL EQUIPMENT.

RELOCATION OF FACILITIES WILL BE DONE BY GRANTEEES AT COST OF THE GRANTOR/LOT OWNER, UPON WRITTEN REQUEST.

**SURVEYOR'S AUTHORIZATION CERTIFICATE**

I, ANTHONY J. STRICKLAND, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3188, DO HEREBY AUTHORIZE NEW LENOX IL (NEC RTE.30/VANCINA) LLC OR THEIR AGENT TO FILE WITH THE WILL COUNTY RECORDER'S OFFICE THE PLAT OF SUBDIVISION KNOWN AS NEC RTE. 30 / VANCINA, BEING A PART OF THE NORTHWEST QUARTER OF SECTION 24, TOWNSHIP 35 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.



ANTHONY J. STRICKLAND  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3437  
V3 COMPANIES OF ILLINOIS, LTD.

**SURVEYOR CERTIFICATE**

STATE OF INDIANA )  
 ) SS  
COUNTY OF LAKE )

THIS IS TO CERTIFY THAT I, ANTHONY J. STRICKLAND, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3437, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

**PARCEL 1:**

THAT PART OF THE WEST HALF OF SECTION 24, IN TOWNSHIP 35 NORTH, AND IN RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT WHERE THE CENTER LINE OF THE RIGHT OF WAY OF THE ROAD OR HIGHWAY KNOWN AS U.S. ROUTE 30 INTERSECTS THE HALF SECTION LINE (RUNNING NORTH AND SOUTH) OF SAID SECTION 24, THENCE NORTH ALONG SAID HALF SECTION LINE OF SAID SECTION 24 TO A POINT OF INTERSECTION WITH THE NORTH LINE OF SAID SECTION 24, THENCE WEST ALONG SAID NORTH LINE OF SECTION 24 A DISTANCE OF 20 RODS, THENCE SOUTH PARALLEL WITH AND 20 DISTANCE FROM THE SAID HALF SECTION LINE OF SAID SECTION 24 TO THE POINT OF INTERSECTION WITH THE CENTER LINE OF SAID HIGHWAY RIGHT OF WAY AND THENCE IN AN EASTERLY AND SOUTHEASTERLY DIRECTION ALONG SAID CENTER LINE OF SAID HIGHWAY RIGHT OF WAY TO THE POINT OF BEGINNING, (EXCEPTING THEREFROM THE 50 FOOT STRIP NORTH AND ADJOINING U.S. ROUTE 30 CONVEYED TO THE JOLIET AND SOUTHERN TRACTION COMPANY, ALSO EXCEPTING THEREFROM THE PROPERTY CONVEYED BY DOCUMENT NO. R73-19714 AND DOCUMENT NO. R74-4451, AND ALSO EXCEPTING THEREFROM THE RIGHT OF WAY OF THE ROAD KNOWN AS GARFIELD AVENUE), ALSO EXCEPTING THAT PART CONVEYED TO THE ILLINOIS DEPARTMENT OF TRANSPORTATION THROUGH CASE NO. 10ED102 RECORDED AS DOCUMENT NUMBER R2011-001939 AND AGREED FINAL JUDGMENT ORDER RECORDED JANUARY 1, 2013 AS DOCUMENT NUMBER R2013-000756 DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE EAST LINE OF SAID NORTHWEST QUARTER WITH THE NORTHERLY RIGHT OF WAY LINE OF U.S. ROUTE 30 BY DOCUMENT NO. 633765; THENCE ON A STATE PLANE BEARING OF NORTH 64 DEGREES 01 MINUTES 36 SECONDS WEST 40.02 FEET, ALONG SAID NORTHERLY RIGHT OF WAY LINE OF U.S. ROUTE 30, TO A POINT OF CURVE; THENCE NORTHWESTERLY 9.43 FEET ALONG A CURVE TO THE LEFT WITH A RADIUS OF 3354.36 FEET, THE CHORD OF SAID CURVE BEARS NORTH 64 DEGREES 08 MINUTES 26 SECONDS WEST 9.43 FEET, ALONG SAID NORTHERLY RIGHT OF WAY LINE OF U.S. ROUTE 30, TO A 9/16" IRON ROD WITH AN ALLIED CAP STAMPED "STATE OF ILLINOIS DIVISION OF HIGHWAYS, RIGHT OF WAY CORNER IPLS 2017", THENCE NORTH 23 DEGREES 04 MINUTES 03 SECONDS EAST 60.78 FEET, TO A 9/16" IRON ROD WITH AN ALLIED CAP STAMPED "STATE OF ILLINOIS DIVISION OF HIGHWAYS, RIGHT OF WAY CORNER IPLS 2017", THENCE SOUTH 67 DEGREES 00 MINUTES 12 SECONDS EAST 20.00 FEET, TO A 9/16" IRON ROD WITH AN ALLIED CAP STAMPED "STATE OF ILLINOIS DIVISION OF HIGHWAYS, RIGHT OF WAY CORNER IPLS 2017", ON SAID EAST LINE OF THE NORTHWEST QUARTER; THENCE SOUTH 01 DEGREES 50 MINUTES 20 SECONDS EAST 6979 FEET, ALONG SAID EAST LINE OF THE NORTHWEST QUARTER, TO THE POINT OF BEGINNING, IN NEW LENOX TOWNSHIP, WILL COUNTY, ILLINOIS.

**PARCEL 2:**

THAT PART OF THE EAST HALF OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 24, IN TOWNSHIP 35 NORTH, AND IN RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: STARTING AT THE NORTHEAST CORNER OF THE NORTHWEST QUARTER OF SECTION 24, THENCE WEST ALONG THE SECTION LINE 20 RODS TO A POINT THENCE IN A STRAIGHT LINE SOUTH AND PARALLEL TO THE EAST LINE OF SECTION 24, 516.96 FEET TO THE POINT OF BEGINNING, THENCE SOUTH AND PARALLEL TO THE EAST LINE OF SECTION 24 TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF THE JOLIET AND SOUTHERN TRACTION COMPANY, THEN NORTHWESTERLY 343.28 FEET ALONG THE NORTHERLY BOUNDARY OF THE JOLIET AND SOUTHERN TRACTION COMPANY RIGHT OF WAY LINE TO A POINT THAT IS 40 RODS WEST OF THE EAST LINE OF THE NORTHWEST QUARTER OF SECTION 24, THENCE NORTH AND PARALLEL TO THE EAST LINE OF SECTION 24, 736.51 FEET TO A POINT 516.96 FEET SOUTH OF THE NORTH LINE OF SAID NORTHWEST QUARTER, THENCE EAST AND PARALLEL TO THE NORTH LINE OF SECTION 24, 20 RODS TO THE POINT OF BEGINNING (EXCEPTING THEREFROM THE WEST 75 FEET AND THE NORTH 330.90 FEET AND THE EAST 239.10 FEET OF THE SOUTH 250 FEET, AS MEASURED ON THE EAST LINE, OF THE WEST HALF OF THE EAST HALF OF THE EAST HALF OF THE SAID NORTHWEST QUARTER, LYING ADJACENT TO AND NORTH OF THE NORTHERLY RIGHT OF WAY LINE TO THE JOLIET AND SOUTHERN TRACTION COMPANY), IN WILL COUNTY, ILLINOIS.

**PARCEL 3:**

THAT PART OF THE WEST HALF OF THE EAST HALF OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 24, TOWNSHIP 35 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING ADJACENT TO AND NORTH OF THE NORTHERLY RIGHT OF WAY LINE OF THE JOLIET AND SOUTHERN TRACTION COMPANY AND LYING SOUTHERLY OF THE NORTH 1119.27 FEET OF THE SAID QUARTER (EXCEPTING THE WEST 90 FEET OF SAID EAST HALF OF THE EAST HALF) ALL IN WILL COUNTY, ILLINOIS.

SAID PARCELS CONTAINING A TOTAL OF 6.3672 ACRES OR 277,356 SQUARE FEET

I FURTHER CERTIFY THAT THIS LAND IS WITHIN THE CORPORATE LIMITS OF A MUNICIPALITY WHICH HAS AUTHORIZED A COMPREHENSIVE PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE, AS NOW OR HEREAFTER AMENDED.

I FURTHER CERTIFY THAT THE ANNEXED PLAT IS A CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF. PERMANENT MONUMENTS WILL BE SET AT ALL LOT CORNERS, EXCEPT WHERE CONCRETE MONUMENTS ARE INDICATED.

I FURTHER CERTIFY THAT THE ABOVE DESCRIBED AREA FALLS IN ZONE X, AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FIRM MAP NUMBER 1719700195 F EFFECTIVE DATE MARCH 17, 2003.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 2013.



ANTHONY J. STRICKLAND  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3437  
MY LICENSE EXPIRES ON NOVEMBER 30, 2014.  
V3 COMPANIES OF ILLINOIS, LTD. PROFESSIONAL DESIGN FIRM NO. 184000902  
THIS DESIGN FIRM NUMBER EXPIRES APRIL 30, 2015.



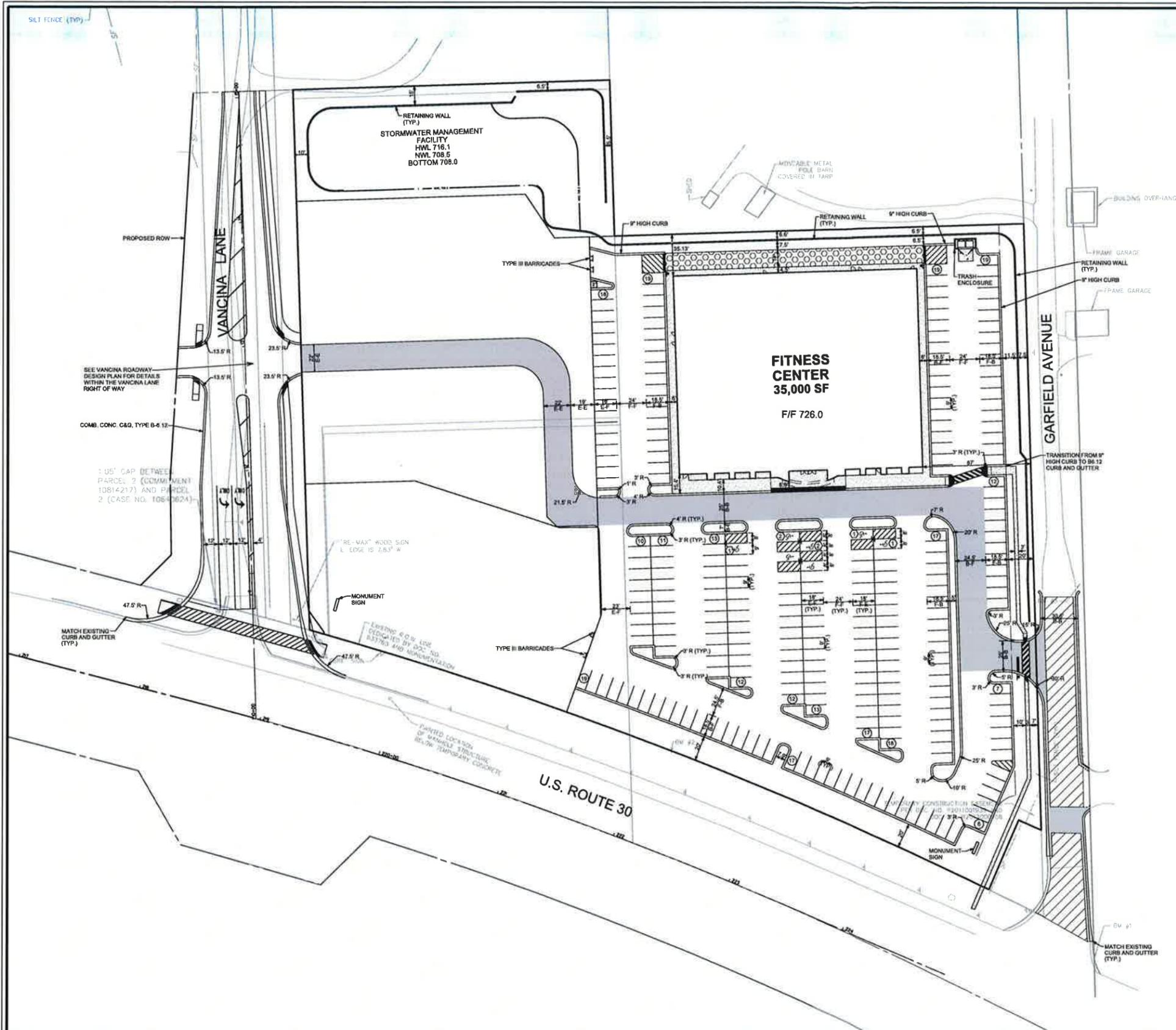
7325 Janes Avenue, Suite 100  
Woodridge, IL 60517  
630.724.9200 voice  
630.724.0384 fax  
v3co.com

PREPARED FOR:  
**NEW LENOX IL (NEC RTE.30/VANCINA) LLC**  
1400 16TH STREET, SUITE 300  
OAK BROOK, IL. 60523  
630-817-9100

NO.		DATE	DESCRIPTION
1.	12/18/2013	REVISED PER CLIENT COMMENTS	
2.	01/09/2014	REVISED LOT AREAS	

P.U.D. FINAL PLAT	
NEC RTE. 30 / VANCINA	
DRAFTING COMPLETED:	12/17/13
FIELD WORK COMPLETED:	
DRAWN BY:	EJM
CHECKED BY:	AJS
PROJECT MANAGER:	AJS
SCALE:	1" = 50'

Project No: 13043.INSITE  
Group No: VP04.1  
SHEET NO.  
2 of 2



- NOTES:**
1. ALL DIMENSIONS SHOWN ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
  2. ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED WHITE UNLESS OTHERWISE NOTED.
  3. BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
  4. ALL CURBS AND GUTTER SHALL BE 6.12 UNLESS OTHERWISE NOTED.

**PARKING LEGEND**

PARKING REQUIRED (PER PROPOSED P.U.D.)  
 OVERALL DEVELOPMENT: 1 SPACE/200 SF GROSS BUILDING AREA PER USE:

FITNESS CENTER: 1 SPACE/250 SF  
 RETAIL: 1 SPACE/200 SF  
 RESTAURANT: 1 SPACE/50 SF + 1 SPACE/EMPLOYEE  
 ADDITIONAL USES: AS SPECIFIED PER VILLAGE CODE

PARKING PROVIDED:  
 REGULAR SPACES: 263  
 ACCESSIBLE SPACES: 7  
 TOTAL SPACES: 270

OVERALL DEVELOPMENT: 1 SPACE/130 SF GROSS BUILDING AREA PER USE:  
 FITNESS CENTER (35,000 SF): 1 SPACE/130 SF  
 RETAIL: TBD (LOT 2 & 3)  
 RESTAURANT: TBD (LOT 2 & 3)  
 ADDITIONAL USES: TBD (LOT 2 & 3)

**PAVING LEGEND**

**HEAVY DUTY BITUMINOUS PAVEMENT**

1.5" BITUMINOUS SURFACE COURSE (HMA MIX "C", N 60)  
 3.0" BITUMINOUS BINDER COURSE (HMA IL-19, N 60)  
 PRIME COAT, MC-30 AT 0.30 GAL/SY  
 12" AGGREGATE BASE COURSE - C&B

**REGULAR BITUMINOUS PAVEMENT**

1.5" BITUMINOUS SURFACE COURSE (HMA MIX "C", N 60)  
 2.0" BITUMINOUS BINDER COURSE (HMA IL-19, N 60)  
 PRIME COAT, MC-30 AT 0.30 GAL/SY  
 8" AGGREGATE BASE COURSE - C&B

**CONCRETE PAVEMENT**

6" P.C. CONCRETE PAVEMENT WITH (6x6 W2 9-W2 8) W.W.F.  
 4" AGGREGATE BASE COURSE - C&B

**CONCRETE SIDEWALK**

6" P.C. CONCRETE PAVEMENT  
 4" AGGREGATE BASE COURSE - C&B

**AMBULANCE LANE**

GEO-BLOCK PAVING BLOCK, OR APPROVED EQUAL.  
 SEE DETAIL ON SHEET C7.4

**GARFIELD AVENUE**

MILL 1.5" AND OVERLAY WITH 1.5" BITUMINOUS SURFACE COURSE (HMA MIX "C", N 60)

RECEIVED  
 JAN 27 2014



<p>V3 Companies          7325 Janes Avenue          Woodridge, IL 60517          630.724.9200 phone          630.724.9202 fax          www.v3co.com</p>	<p><b>REVISIONS</b></p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION							<p>PROJECT NO.: 13043.INSITE          FILE NAME: C3.0 Oap13043          ORIGINAL ISSUE DATE: 12-17-2013          SCALE: 1" = 40'</p>	<p>DESIGNED BY: JWM          DRAWN BY: VRS          CHECKED BY: BCR          PROJECT MANAGER: BCR</p>	<p>NEC RTE. 30 / VANCINA RETAIL DEVELOPMENT</p> <p>NEW LENOX ILLINOIS</p>	<p>OVERALL SITE PAVING PLAN</p> <p><b>C3.0</b></p>	<p>DRAWING NO.</p>
	NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION													
<p>THIS DOCUMENT IS THE PROPERTY OF V3 COMPANIES AND NO PART HEREIN SHALL BE USED EXCEPT FOR THIS SPECIFIC PROJECT WITHOUT THE WRITTEN CONSENT OF V3 COMPANIES.</p>																			

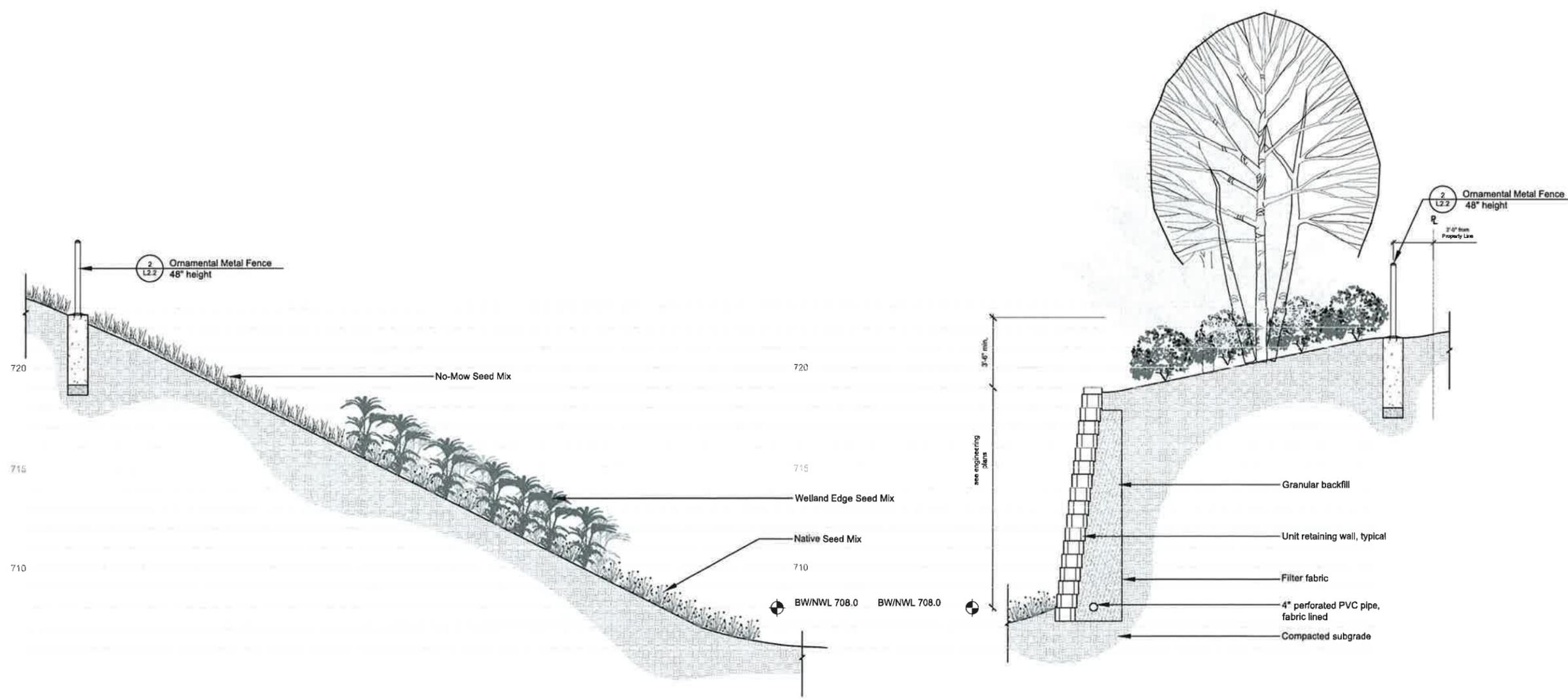
13043.INSITE 903 OVERALL SITE PAVING PLAN







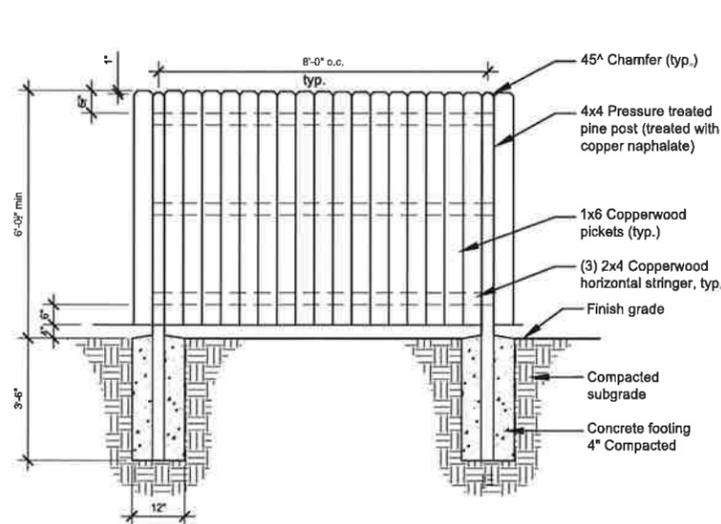
No	Date	Issue



**1 Detention Basin - Section A-A**  
Scale: 3/8" = 1'-0"

I:\Projects\2013\153\153-001\_P.U.D. Application\Drawings\00-0102\_LANDSCAPE DETAILS.dwg

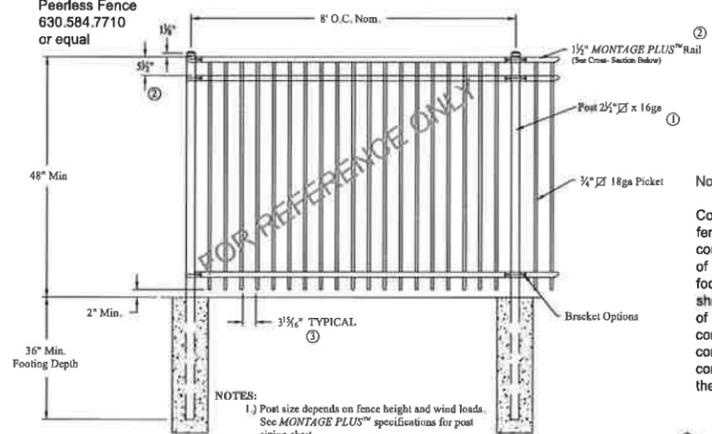




**1 Board-on-Board Wood Fence**  
BB-woodfence  
1/2" = 1'-0"

Notes:  
1. Detail shown for reference only. Install per manufacturer's written installation instructions and as shown on retaining wall shop drawings.

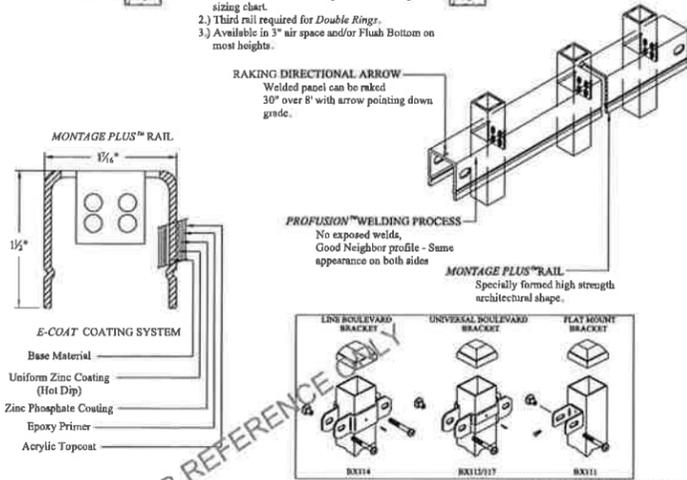
2. Product:  
Ameristar Fence - Montage Plus  
48" height  
Available from:  
Dean White  
Peerless Fence  
630.584.7710  
or equal



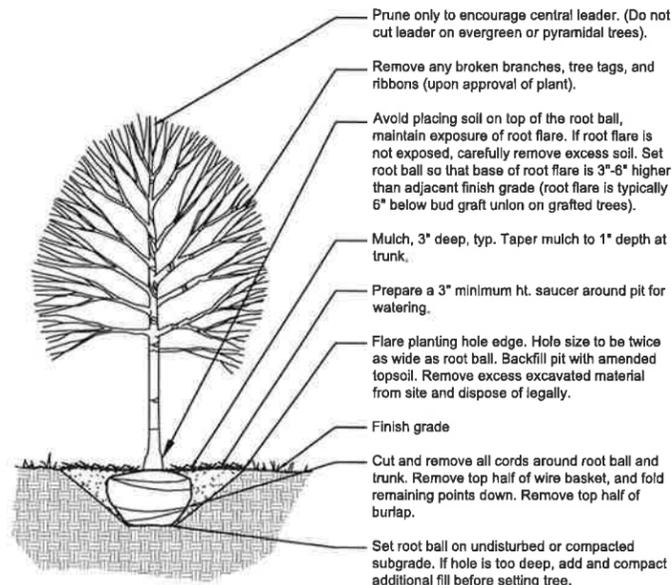
FOR REFERENCE ONLY

NOTES:  
1.) Post size depends on fence height and wind loads. See MONTAGE PLUS specifications for post sizing chart.  
2.) Third rail required for Double Rings.  
3.) Available in 3" air space and/or Flush Bottom on most heights.

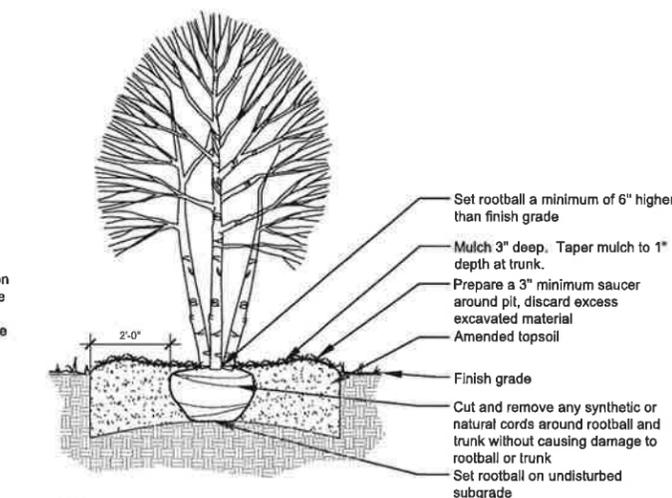
Note:  
Contractor to coordinate fence/guardrail installation concurrently with installation of the retaining wall. Fence footings and sonotubes shall be installed at the time of retaining wall construction as to not compromise any structural components or integrity of the retaining wall system.



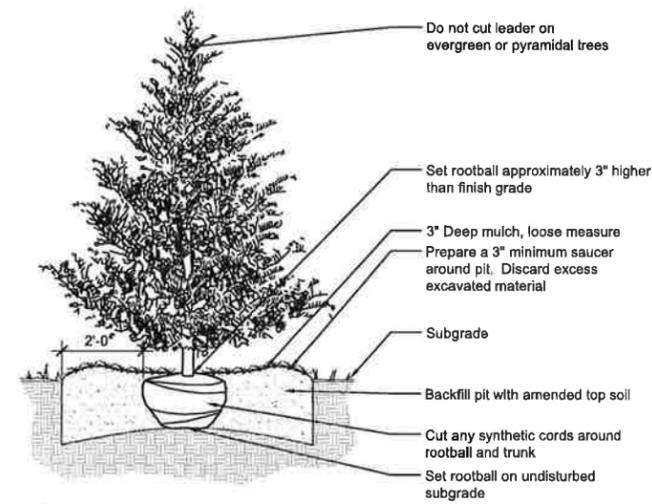
**2 Ornamental Metal Fence - 48" Height.**  
Scale: NOT TO SCALE



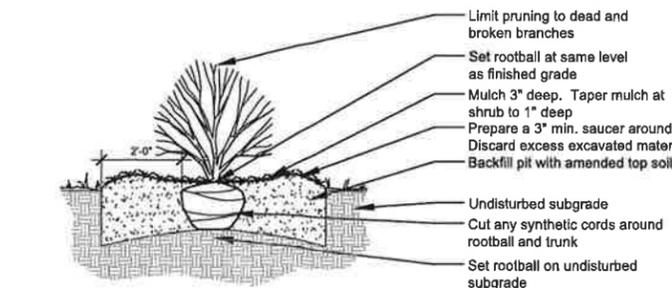
**3 Deciduous Tree Planting**  
Scale: 1/2" = 1'-0"



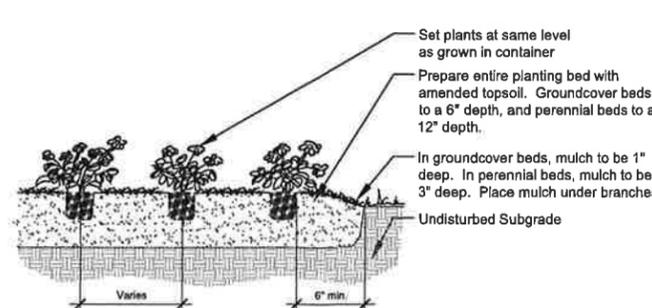
**4 Ornamental Tree Planting**  
Scale: 1/2" = 1'-0"



**6 Evergreen Tree Planting**  
Scale: 1/2" = 1'-0"



**5 Shrub Planting**  
Scale: 1/2" = 1'-0"



**7 Perennial and Groundcover Planting**  
Scale: 1/2" = 1'-0"



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PREPARED FOR  
New Lenox, IL (NEC  
Rte. 30 / Vancina), LLC

1400 16th Street, Suite 300  
Oakbrook, IL 60523

PROJECT  
**NEC Rte. 30 /  
Vancina Retail  
Development**

Lincoln Highway and  
Vancina Lane  
New Lenox, IL 60155

CONSULTANTS  
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PROJECT NUMBER  
01-1053-001

P.U.D. APPLICATION SUBMITTAL  
DECEMBER 19, 2013

REVISIONS

No	Date	Issue

CHECKED BY  
GBR

DRAWN BY  
DEU

SHEET TITLE  
**Landscape  
Details**

SCALE IN FEET  
as noted

NORTH SHEET NUMBER

**L2.2**

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TREES, SHRUBS, AND GROUNDCOVERS

PART 1 - GENERAL

1.01 DESCRIPTION

- A. Provide trees, shrubs, and groundcovers as shown and specified. The work includes:
  - 1. Soil preparation
  - 2. Trees, shrubs, and groundcovers
  - 3. Mulch and planting accessories
  - 4. Maintenance

1.02 QUALITY ASSURANCE

- A. Comply with General and Supplementary Conditions.
- B. Plant names indicated comply with "Standardized Plant Names" as adopted by the latest edition of the American Joint Committee of Horticultural Nomenclature. Names of varieties not listed conform generally with names accepted by the nursery trade. Provide stock true to botanical name and legibly tagged.
- C. Comply with sizing and grading standards of the latest edition of "American Standard for Nursery Stock." A plant shall be dimensioned as it stands in its natural position.
- D. All plants shall be nursery grown under climatic conditions similar to those in the locality of the project for a minimum of two years.
- E. Stock furnished shall be at least the minimum size indicated. Larger stock is acceptable, at no additional cost, providing that the larger plants will not be cut back to size indicated.
- F. Plants are subject to inspection by the Owner's Representative at the job site or nursery. The Owner's Representative reserves the right to personally select any or all nursery stock prior to digging.

1.03 SUBMITTALS

- A. Topsoil Data
  - 1. Provide to the Owner's Representative, the locations and names of topsoil sources from which topsoil is to be obtained for the project, approximate quantities obtained at each site, depth at which soil was taken and indicate whether crops had grown on a site for all imported topsoil. On site topsoil to be spread by grading contractor.
- B. Soil Testing
  - 1. The Contractor shall submit a complete soils report to the Owner's Representative prior to delivery to the site. prior to delivery to the site. Soil reports shall include complete physical and chemical analysis of import and existing topsoil to be used on site, including, but not limited to the following parameters:
    - a. U.S.D.A. soil classification
      - Percent of sand
      - Percent of clay
      - Percent of silt
    - b. Chemical analysis including:
      - Exchange Capacity
      - pH
      - Organic Matter
  - 2. Report shall include recommendations for fertilization and soil amendments to provide a complete soil that will ensure vigorous growth for all plants specified. Soils report to include analysis of a minimum of three (3) soil samples from different locations.

1.04 DELIVERY, STORAGE, AND HANDLING

- A. Deliver fertilizer materials in original, unopened, and undamaged containers showing weight, analysis, and name of manufacturer. Store in manner to prevent wetting and deterioration.

- B. Take all precautions customary in good trade practice in preparing plants for moving. Workmanship that fails to meet the highest standards will be rejected. Spray deciduous plants in foliage with an approved "Anti-Desiccant" before digging to prevent dehydration. Dig, pack, transport, and handle plants with care to ensure protection against injury. Inspection certificates required by law shall accompany each shipment invoice or order to stock and on arrival the certificate shall be filed with the Owner's Representative. Protect all plants from drying out. If plants cannot be planted immediately upon delivery, properly protect them with soil, wet peat moss, or in a manner acceptable to the Owner's Representative. Water heeled-in plantings as appropriate to promote healthy root growth. No plant shall be bound with rope or wire in a manner that could damage or break the branches or bark. No plant shall be bound for more than 24 hours.

- C. Cover plants transported on open vehicles with a protective covering to prevent windburn.
- D. Provide dry, loose topsoil for planting bed mixes. Frozen or muddy topsoil is not acceptable.

1.05 PROJECT CONDITIONS

- A. Work notification: Notify the Owner's Representative at least two working days prior to installation of plant material.
- B. Protect existing utilities, paving, and other facilities from damage caused by landscaping operations.
- C. A list of plants, including a schedule of sizes, quantities, and other requirements is shown on the drawings for the convenience of the Owner. Verify and supply the quantities required to complete the work as drawn.

1.06 GUARANTEE

- A. Guarantee all work in this Section for one year following the date of written Final Acceptance by the Owner's Representative.
- B. Replace at no cost to Owner, in accordance with the drawings and specifications, all plants that are dead or, as determined by the Owner's Representative, are in an unhealthy or unsightly condition. Guarantee all replacement plants for one additional year after written Final Acceptance. Replacement plants which are dead or unacceptable within one year of Final Acceptance may be replaced with unguaranteed plants, or removed, at the discretion of the Owner. Reimburse the Owner 100% of the price of each removed plant which is not replaced.
- C. Guarantee shall not include damage or loss of trees, plants, or groundcovers caused by fires, floods, freezing rains, lightning storms, or winds over 75 miles per hour, winter kill caused by extreme cold and severe winter conditions not typical of planting area; or acts of vandalism.
- D. Guarantee shall not include on-site relocation of existing plants.

PART 2 - PRODUCTS

2.01 MATERIALS

- A. Plants: Provide plants typical of their species or variety with normal, densely-developed branches and vigorous, fibrous root systems. Provide only sound, healthy, vigorous plants free from defects, disfiguring knots, sunscald injuries, frost cracks, abrasions of the bark, plant disease, weeds, insect eggs, borers, and all forms of infestation. All plants shall have a fully developed form without voids and open spaces. Plants held in storage will be rejected if they show signs of growth during storage.
  - 1. Dig balled and burlapped plants with firm, natural balls of earth. Provide ball sizes complying with the latest edition of the "American Standard for Nursery Stock". Cracked or mushroomed balls are not acceptable. Tree spade transplanting is not acceptable.
  - 2. Container-grown stock: Grown in a container for sufficient length of time for the root system to have developed to hold its soil together, firm and whole.
    - a. No plants shall be loose in the container.
    - b. Container stock shall not be root bound.
  - 3. When specified by caliper, provide shade and ornamental trees with a single main trunk. When specified by height, provide shade and ornamental trees as multi-stemmed plants with not less than three main trunks and side branches that are generous and well twigged.
  - 4. Provide plants matched in form when arranged in groups.

- 5. Plants larger than those specified in the plant list may be used when acceptable to the Owner's Representative.
- 6. Provide plants with pruning wounds relative to the size of the trunk or branch on which it occurs. Pruning wounds should not exceed more than 1/5 of the tissue area of that given trunk or branch. Acceptable wounds must show vigorous bark on all edges. (i.e. a 1" diameter wound on a 2" caliper tree is unacceptable)
- 7. Provide evergreen trees branched to the ground unless otherwise specified or accepted.
- 8. Provide shrubs and small plants meeting the requirements for spread and height indicated in the plant list.
  - a. The measurements for height shall be taken from the ground level to the average height of the top of the plant and not the longest branch.
  - b. Single stemmed or thin plants will be rejected.
  - c. Side branches shall be generous, well-twigged, and the plant as a whole well-bushy to the ground.
  - d. Plants shall be in a moist, vigorous condition, free from dead wood, bruises, or other root or branch injuries.

2.02 ACCESSORIES

- A. Topsoil: Fertile, friable, natural topsoil of a medium-textured, loamy character. Topsoil shall be obtained from a well-drained arable site, reasonably free from clay, lumps, coarse sands, stones, plants, roots, sticks, and other foreign material. It shall meet the following analysis:
  - 1. Coarse sand, medium sand 10 - 30 %
  - Silt 30 - 50 %
  - Clay 10 - 30 %
  - Clay content shall be determined a hydrometer Test.
  - 2. The pH shall be between 5.5 to 6.5.
  - 3. Organic matter content shall be from 3 to 7%
- B. Mulches:
  - 1. Organic shredded native hardwood bark mulch, not larger than 4" length and 1/2" in width, free of wood chips and sawdust.
    - a. Available from: Midwest Trading 630-365-1990 or equal
  - 2. Water: Free of substances harmful to plant growth. Hoses or other methods of transportation furnished by Contractor.
  - 3. Tree Wrap: Standard waterproofed tree wrapping paper, 2-1/2" wide, made of two layers of crepe kraft paper weighing not less than 30 lbs. per ream.
  - 4. Twine: Two-ply jute material.

PART 3 - EXECUTION

3.01 INSPECTION

- A. Examine proposed planting areas and conditions of installation. Do not start planting work until unsatisfactory conditions are corrected.

3.02 PREPARATION

- A. Time of planting:
  - 1. Evergreen material: Plant evergreen materials between August 15 and November 1 or in spring before new growth begins. If project requirements require planting at other times, spray plants with anti-desiccant prior to planting operations.
  - 2. Deciduous material: Plant deciduous materials in a dormant condition. If deciduous trees are planted in-leaf, spray with an anti-desiccant prior to planting operations.
  - 3. Obtain Owner's Representative's approval for planting times, other than those indicated, prior to commencing work.
- B. Install plantings using only experienced workmen familiar with planting procedures under the supervision of a qualified supervisor.
- C. Locate plants as indicated and approved in the field by the Owner's Representative. If obstructions are encountered that are not shown on the drawings, do not proceed with planting operations until alternate plant locations have been selected.
- D. Excavate circular plant pits with sloping sides, except for plants specifically indicated to be planted in beds (i.e. a saucer or bowl shaped hole). Provide shrub pits at least 12" greater than the diameter of the root system and 24" greater for trees. Depth of pit shall accommodate the root system. Do not overexcavate. Remove excess excavated materials from the site. Before planting, perform a percolation test on a representative sample of tree and shrub holes (quantity and location of holes to be determined by the landscape contractor). Fill holes to the top with water. If holes do not drain within one hour, contact the Owner's Representative immediately before proceeding with work. Do not proceed until drainage issues have been satisfactorily addressed.

3.03 INSTALLATION

- A. Trees and shrubs
  - 1. Set plant material in the planting pit to proper grade and alignment. Set plants upright, plumb, and faced to give the best appearance or relationship to each other or adjacent structure. Set plant material above the finish grade.
  - 2. Do not fill around trunks or stems. Backfill the pit with a mixture 2/3 excavated material and 1/3 amended topsoil. Do not use frozen or muddy mixture for backfilling. Form a ring of soil around the edge of each planting pit to retain water.
  - 3. After balled or burlapped plants are set, muddle topsoil mixture around bases of bails and fill all voids.
  - 4. Cut and remove all cords around root ball and trunk. Remove top half of wire basket, and fold remaining points down. Remove top half of burlap.
- B. Perennials/Groundcovers/Annuals
  - 1. Where perennials, groundcovers, and annuals are specified on the plans, rototill entire plant bed to 6" depth using amended topsoil. If area is within existing trees' dripline, hand cultivation of plant bed to 6" depth is required. Obtain the Owner's Representative's approval for rototilling methods other than those indicated, prior to commencing work.
  - 2. Plant spacings are given as general guidelines. Adjust spacing as necessary using the quantity specified to fill the entire bed to within 6" of edge.
  - 3. Apply commercial pre-emergent herbicide (Preen or equal) per manufacturer's directions to entire groundcover, perennial, or annual bed.

C. Mulching

- 1. Mulch tree and shrub planting pits, shrub beds, and ornamental grass beds with required mulching material 3" deep immediately after planting. Thoroughly water mulched areas. After watering, rake mulch to provide a uniform finished surface.
- 2. Mulch perennials, groundcovers, and annuals with required mulching material 1" - 3" deep immediately after planting. Thoroughly water mulched areas. After watering, rake mulch to provide a uniform finished surface, and to keep mulch away from stems and branches.
- D. Pruning
  - 1. Prune deciduous stock, after planting, only to remove or cut back broken or damaged branches, and unsymmetrical growth of new wood. Acceptable pruning should preserve the natural character appropriate to that particular plant.
  - 2. Multiple leader plants: Preserve the leader which will best promote the symmetry of the plant. Cut branches flush with the trunk or main branch, at a point beyond a lateral shoot or bud a distance of not less than half the diameter of the supporting branch. Make cut on an angle.
  - 3. Prune evergreens only to remove broken or damaged branches.

3.04 MAINTENANCE

- A. Maintain plantings for a period of at least 30 days after Substantially Completed work in this section has received written Preliminary Acceptance by the Owner's Representative. Continue the required maintenance until all work in other sections receive written Final Acceptance.
- B. Maintenance shall include pruning, cultivating, weeding, watering, and application of appropriate insecticides and fungicides necessary to maintain plants free of insects and disease.
  - 1. Re-set settled plants to proper grade and position. Restore planting saucer and adjacent material and remove dead material.
  - 2. Tighten and repair guy wires and stakes as required.
  - 3. Correct defective work as soon as possible after deficiencies become apparent and weather and season permit.
  - 4. Water trees, shrubs, and groundcover beds within the first 24 hours of initial planting. To promote healthy root growth, watering should take as follows, until final acceptance
    - a. Not less than once per week- trees and shrubs.
    - b. Not less than twice per week- perennials, groundcovers, and annuals.
  - 5. Depending on weekly rainfall and seasonal conditions, obtain Owner's Representative's approval for watering frequencies other than those indicated prior to commencing work.

3.05 ACCEPTANCE

- A. Planted areas will be inspected during and upon completion of installation and accepted subject to compliance with specified materials and installation requirements.
  - 1. Planted areas will be Finally Accepted provided all requirements, including maintenance, have been complied with and plant materials are alive and in a healthy, vigorous condition.

3.06 CLEANING

- A. Perform cleaning during installation of the work and upon completion of the work. Remove from site all excess materials, soil, debris, and equipment. Repair damage resulting from planting operations.

END OF SECTION



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PREPARED FOR  
**New Lenox, IL (NEC Rte. 30 / Vancina), LLC**

1400 16th Street, Suite 300  
Oakbrook, IL 60523

PROJECT  
**NEC Rte. 30 / Vancina Retail Development**

**Lincoln Highway and Vancina Lane  
New Lenox, IL 60155**

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PROJECT NUMBER  
01-1053-001

P.U.D. APPLICATION SUBMITTAL  
DECEMBER 19, 2013

REVISIONS

No	Date	Issue

CHECKED BY  
GBR

DRAWN BY  
DEU

SHEET TITLE  
**Landscape Specifications**

SCALE IN FEET

NORTH

SHEET NUMBER

**L3.0**

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Fence Specifications  
Copperwood - General Spec

A. General

- All provisions of the Contract Documents, including the General Conditions, and the Supplementary General Conditions, are a part of this Specification and shall govern the work of this Division.
- Any additions or deletions to these Specifications that are required for this particular project are defined on the supplementary pages or as stated by addendum.
- All work shall meet the requirements of all government codes, ordinances, laws, regulations, safety directives, etc., relating to this work.

B. Scope

- This specification covers all labor, materials and equipment necessary for the complete installation of the wood fence as shown on the drawings and/or specified herein.
- All material for the construction of the wood fence shall comply with the following applicable documents or as specified herein:

Fed. Spec. TT-W-572	AWPA Standard P8
Fed. Spec. TT-N-105B	AWPA Standard M4

C. Materials

- All wood shall be southern yellow pine treated with copper naphthenate and wood treating oil as manufactured by Ozark Timber, St. Joe Arkansas herein described as "Copperwood". The minimum net retention levels of copper naphthenate shall be 0.04 pounds per cubic foot copper as metal for above ground contact and 0.06 pounds per cubic foot copper as metal for ground contact use.
- If Copperwood posts used in the construction of this fence shall be rough sawn 4" X 4" squares or as shown on the drawings.
- All Copperwood framework (stringers) used in the construction of this fence shall be dimensional 2" X 4" per the following schedule:

4' height or less, 2 stringers 6" or less from top and bottom  
5'-6" in height, 3 stringers 6" or less from top and bottom  
7'-8" in height, 4 stringers 6" or less from top and bottom  
(All middle stringers to be spaced equidistant on posts.)

- All Copperwood fence boards (pickets) shall be approximately 5/8" thick rough sawn lumber with height and width of pickets as shown on the drawings. Unless otherwise stated on the drawings, all pickets shall have clipped corners (dog-ear).
- Gate hardware, as required, shall be black powder-coated fittings as manufactured by American Hardware, Tulsa Oklahoma, or approved equal.
- All nails and/or staples used in the construction of this fence shall be galvanized or aluminized. If galvanized nails are used to secure the pickets to the stringers, nails shall be 2" ring-shank nails. A 16 penny common nail shall be used to attach the stringers to the posts.

D. Installation

- All Copperwood posts shall be spaced no more than 8' on centers unless slope of line indicates otherwise, but then no more than 10' on centers.
- All Copperwood posts shall be set in full concrete, holes shall be 9" in diameter by 36" in depth, or as shown on the drawings. All posts shall be crowned to shed water.
- All Copperwood framework shall be face nailed to the posts using 4 nails per stringer. Copperwood pickets shall be secured to the stringer using one nail for every 2" picket width (3 nails for a 1" X 6" X 6").
- Place nails no closer to the edge than 1" and no closer to the end than 2".

E. Clean Up

- All soil removed from the holes shall be disposed of on site in an approved manner at the direction of the project engineer.
- The removal of all scraps of lumber from the site shall be the responsibility of the fence contractor. All material shall be disposed of per manufacturers recommendations.

F. Guarantee

- The warranty on material is limited to the conditions and terms set forth in the warranty card. When final payment has been received by the fence contractor, the assigned warranty card shall be sent to the contractor/owner where applicable.

G. Material Source

- Available from: Peerless Fence. Contact: Dean White, (630) 584.7710, or approved equal.

LAWNS AND GRASSES

PART 1 - GENERAL

1.01 DESCRIPTION

- A. Provide turf areas as shown and specified. The work includes:

- Soil preparation
- Fertilizing indicated areas
- Seeding indicated areas
- Maintenance and guarantee
- Cleaning up work area

1.02 QUALITY ASSURANCE

- A. Comply with General and Supplementary Conditions
- B. Apply with applicable local regulations

1.03 SUBMITTALS

- A. Seed: Submit seed vendor's certification for required grass seed mixture, indicating percentage by weight, and percentages of purity, germination, and weed seed for each grass species.

1.04 DELIVERY, STORAGE, AND HANDLING

- A. Seed: Deliver seed and fertilizer materials in original unopened containers, showing weight, analysis, and name of manufacturer. Store in a manner to prevent wetting and deterioration.

1.05 PROJECT CONDITIONS

- A. Work notification: Notify Owner's Representative at least 2 working days prior to start of grassing operations.
- B. Fine grading must be approved by Owner's Representative prior to start of grassing operations.
- C. Protect existing utilities, paving, and other facilities from damage caused by grassing operations.
- D. Perform grassing work only after planting and other work affecting ground surface has been completed.
- E. Install seed under favorable weather conditions unless approved by the Owner's Representative. The conditions of the guarantee apply regardless of the date of installation. The accepted times for seeding areas outside of irrigation system coverage are:
- Spring - April 1 to May 31
  - Fall - August 15 to September 31

1.06 GUARANTEE

- A. Guarantee all work in this Section for one year following the date of Final Acceptance by the Owner's Representative. At the end of the guarantee period, re-seed areas, with specified materials, which fail to provide a uniform stand of grass until all affected areas are accepted by the Owner's Representative.

PART 2 - PRODUCTS

2.01 MATERIALS

- A. Seed Fertilizer
- Granular, non-burning product composed of not less than 50% organic slow acting, guaranteed analysis professional fertilizer.
    - Starter fertilizer with an approximate analysis of 6N, 24P2O5, 24K2O, or similar approved composition.
    - Post emergent fertilizer with an approximate analysis of 30-5-5.
- B. Seed Mixes

- Turf seed: Fresh, clean seed from most recently harvested crop which complies with all local, state, and federal seed and weed laws and is free from Poa annua, bent grass and noxious weeds. Mix to the specified proportions by weight.

- No Mow Seed: Fresh, clean seed from most recently harvested crop, which complies with all local, state, and federal seed and weed laws and is free from Poa annua, bent grass and noxious weeds. Mix to the specified proportions by weight.

- a. Greenskeeper National Links Mixture :  
25% MX-86 or Quatro Sheep Fescue  
25% Improved Chewings Fescue  
25% Improved Creeping Red Fescue  
25% Rescue 911 or Rellant Hard Fescue

- b. Available from: National Seed  
(888) 963-7333

3. Wetland Edge Seed Mix:  
Detention/Urban Disturbed Wetlands Blend  
Available from:  
National Seed  
888.963.7333  
or equal

4. Native Seed Mix: Oz./Acre

Little Blue Stem	160
Prairie Switch Grass	80
Indian Grass	80
Canada Wild Rye	80
New England Aster	25
Purple Coneflower	25
False Sunflower	25
Yellow Coneflower	25
Black-Eyed Susan	25
Sweet Black-Eyed Susan	25
Seed Oats	960
Myco Bio Boost	800

Available from: Agri-Energy Resources

815.872.1190

- Straw Mulch: Clean oat or wheat straw, well seasoned before baling, free from mature seed-bearing stalks or roots of prohibited or noxious weeds.
- Tackifier: Liquid concentrate diluted with water forming a transparent 3-dimensional film-like crust permeable to water and air and containing no agents toxic to seed germination.
- Erosion Control Blanket: see civil plans for product specifications

A. Stakes

- Softwood, 3/4" dia. x 8" long or,
- Steel, tee shaped pins, 4" head x 8" leg.

- H. Water: Free of substances harmful to turf growth. Hoses or other method of transportation furnished by contractor.

PART 3 - EXECUTION

3.01 INSPECTION

- A. Examine finish surfaces, grades, topsoil quality, and depth. Do not start grassing work until unsatisfactory conditions are corrected.

3.02 PREPARATION

- B. Limit preparation to areas which will be completed within 48 hours.
- C. Loosen topsoil of lawn areas to minimum depth of 4". Remove stones over 1" in any dimension and sticks, roots, rubbish, and extraneous matter.
- D. Grade lawn areas to smooth, free draining and even surface with a loose, uniformly fine texture. Roll and rake; remove ridges and fill depressions as required to drain.
- E. Restore prepared areas to specified condition if eroded, settled, or otherwise disturbed after fine grading and prior to sodding.

3.03 FERTILIZATION

- A. Obtain Owner's Representative's approval of prepared topsoil.
- B. For seeded areas:
- Apply starter fertilizer to indicated seed areas at a rate equal to 650 lbs. per acre.
  - Apply fertilizer by mechanical rotary or drop type distributor, thoroughly and evenly incorporated with soil to a depth of 3" by discing or other approved method. Fertilize areas inaccessible to power equipment with hand tools and incorporate into soil.

3.06 SEED INSTALLATION

A. General:

- Seed immediately after preparation of bed.
- Seed indicated areas within contract limits and areas adjoining contract limits disturbed as a result of construction operations.
- Perform seeding operations when the soil is dry and when winds do not exceed 10 miles per hour velocity.
- Sow turf seed and no-mow weed mix at the following rates
  - New Seeding Rate: 4-5 pounds per 1,000 SF
  - Overseeding Rate: 2-3 pounds per 1,000 SF
- Sow Wetland Edge Seed and Native Seed Mix at the following rates
  - New Seeding Rate: 4-6 pounds per 1,000 SF
  - New Seeding Spreader Rate: 30% Open
  - Overseeding Rate: 3-4 pounds per 1,000 SF
  - Overseeding Spreader Rate: 15% Open

B. Method

1. Conventional Seeding

- Apply seed with a rotary or drop type distributor. Install seed evenly by sowing equal quantities in two directions, at right angles to each other.
- After seeding, rake soil surface lightly to incorporate seed. Roll with light lawn roller. Within 24 hours, apply hydrotackifier to secure seed in place. As an alternate price option, provide cost to apply crimped straw in lieu of hydrotackifier. On slopes of 3:1 or steeper, or within drainage areas, apply erosion control blanket and secure. Contractor responsible for repaving wash outs where blanket is not applied.

3.07 MAINTENANCE

- A. Maintain lawn areas for a period of at least 30 days after all Substantially Completed work in this section has received written Preliminary Acceptance by the Owner's Representative. Continue the required maintenance until all work in other sections receive written Final Acceptance.
- B. Maintain lawn areas, including watering, spot weeding, mowing, application of herbicides, fungicides, insecticides, and resodding of reseeding until a full, uniform stand of grass free of weed, undesirable grass species, disease, and insects is achieved and accepted by the Owner's Representative
- C. Repair and rework, all areas that have washed out or are eroded. Replace undesirable or dead areas with new seed.
- D. Mow lawn areas as soon as top growth reaches a 3" height. Cut back to 2" height. Repeat mowing as required to maintain specified height. Not more than 40% of grass leaf shall be removed at any single mowing.

3.08 ACCEPTANCE

- A. Lawn areas will be inspected at completion of installation and accepted subject to compliance with specified materials and installation requirements.
- B. Lawn areas will be acceptable provided all requirements, including maintenance, have been complied with, and a healthy, even colored viable lawn is established, free of weeds, undesirable grass species, bare areas 6" square or larger, disease, and insects.

3.09 CLEANING

- A. Perform cleaning during installation of the work and upon completion of the work. Remove from site all excess materials, debris, and equipment.

END OF SECTION



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PREPARED FOR  
New Lenox, IL (NEC  
Rte. 30 / Vancina), LLC

1400 16th Street, Suite 300  
Oakbrook, IL 60523

PROJECT  
NEC Rte. 30 /  
Vancina Retail  
Development

Lincoln Highway and  
Vancina Lane  
New Lenox, IL 60155

CONSULTANTS  
Civil Engineer  
V3 Companies  
7325 Janas Ave.  
Woodridge, IL 60517  
T 630.724.9200  
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PROJECT NUMBER  
01-1053-001

P.U.D. APPLICATION SUBMITTAL  
DECEMBER 19, 2013

REVISIONS		
No	Date	Issue

CHECKED BY  
GBR

DRAWN BY  
DEU

SHEET TITLE

Landscape  
Specifications

SCALE IN FEET

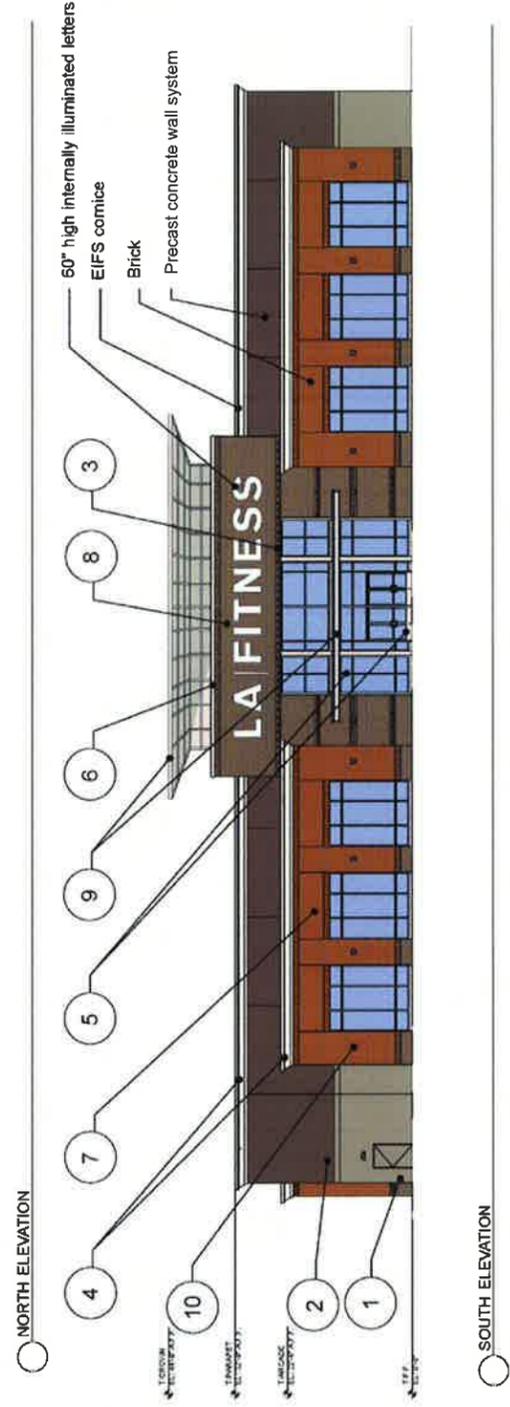
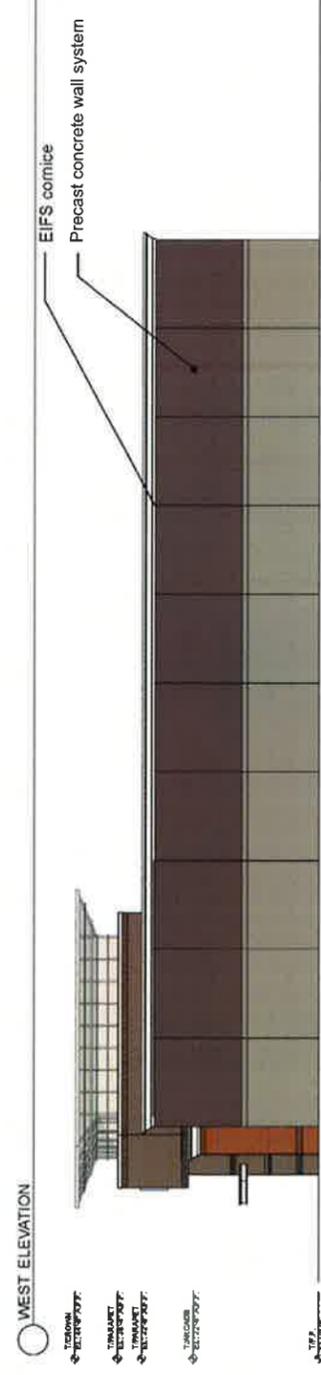
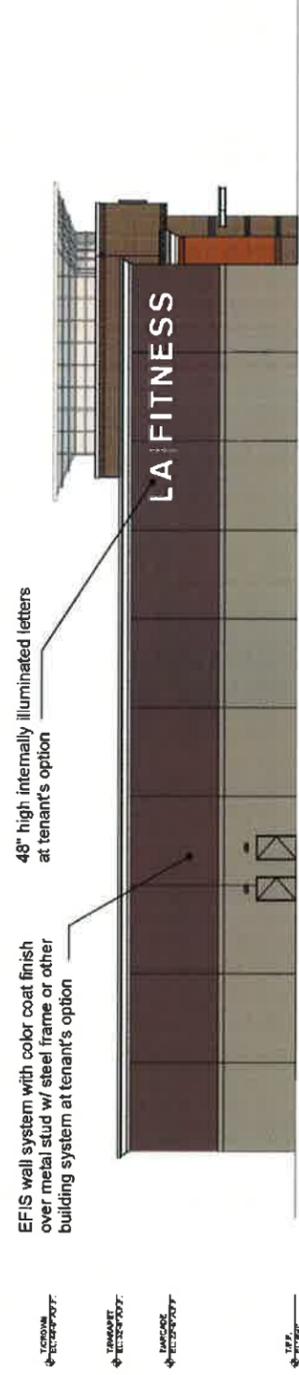


NORTH SHEET NUMBER

L3.1

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**Color Legend**

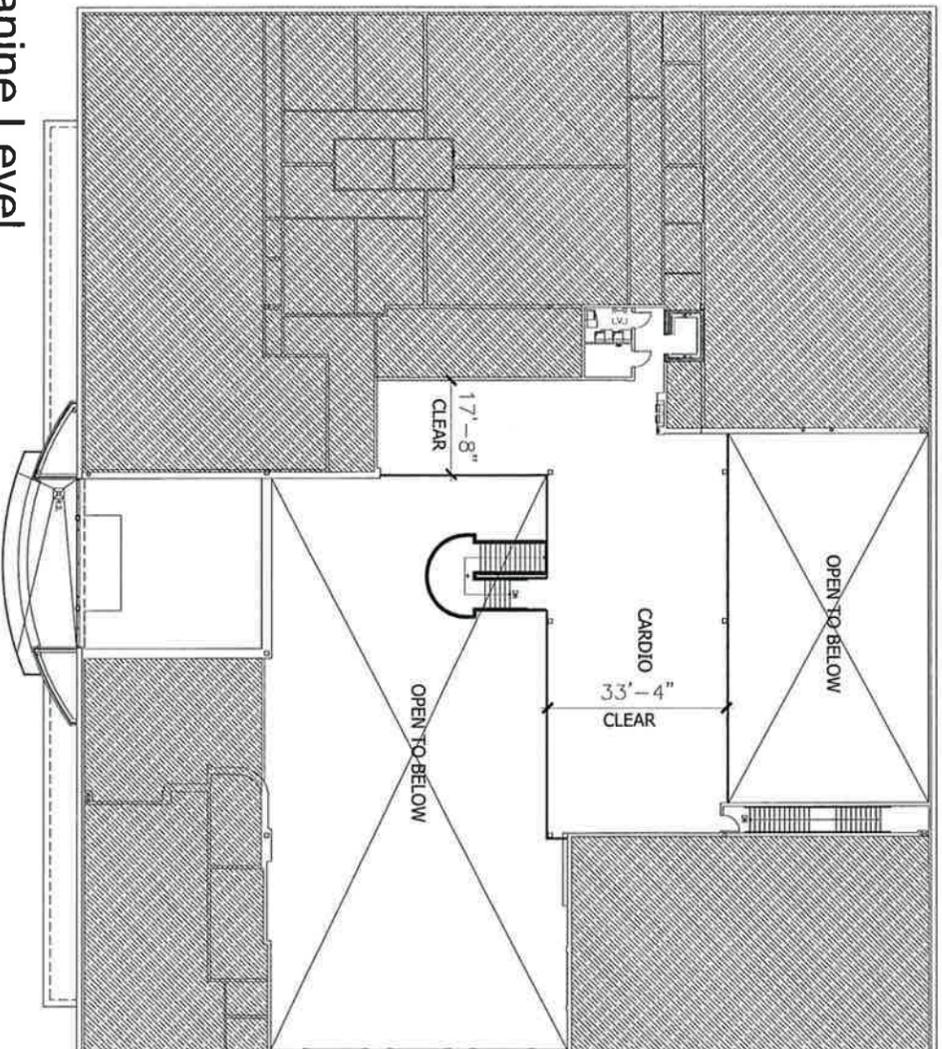
1	Precast Concrete System - Match Color - #A1755 Sandering	2	Precast Concrete System - Match Color - #A1729 Ancient Pottery	3	Brick - Accent coursing bands at rotunda - Watsontown Brick - Color: M2 Houston type 8	4	EIFS Cornice - Match ICI Paints - #1863 - Sawm White	5	Storefront & Entry Doors - Anodized finished aluminum at storefront, panels and entry doors w/ green tint glazing per code
6	Pre-Finished Metal Coping - ICI Paints - #1769- Creme Burlee	7	Brick - Field brick at arcades, accent at rotunda - Watsontown Brick - Color: Hudson, Type 8	8	Brick - Field brick at rotunda - Watsontown Brick - Color: Scarsdale	9	Metal Entry Crown & Metal Canopy - Match ICI Paints - #2010 - Snowfield	10	Light Fixture - Dark oil-rubbed bronze - Kim Lighting fixture WFS74



**Concept Elevation - New Lenox, IL**

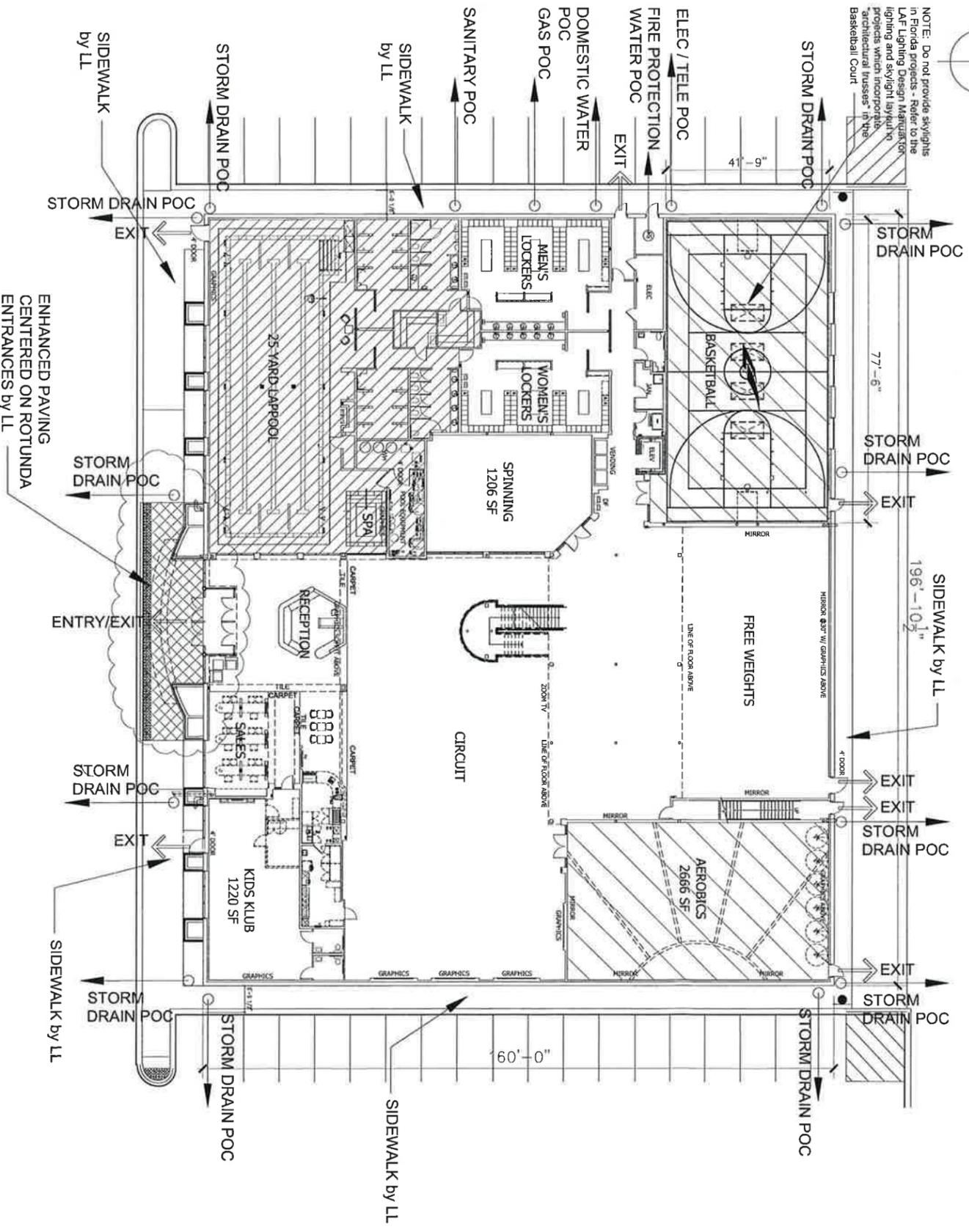


12.17.13  
rev 01.10.14



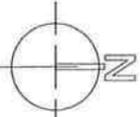
Mezzanine Level

- GENERAL NOTES:**
1. Information provided for design intent only. Design professionals of record are responsible for verification of all applicable code requirements. Wall types illustrated are for preliminary space planning only; the design professionals shall be responsible for code conformance and floor plan development per LAF's programming criteria. These plans are specifically not for use as layers to be imported into documents / files or to be used as tracing underlayment(s) for construction documents / files by the professionals of record for this or any other project(s).
  2. Ground floor area tabulation is the gross leasable area measure from the exterior surface of exterior walls, face of glass and from the center of Tenant demising partitions, including interior columns, excluding arcades, bump-outs, elevators, shafts, leave-outs. Existing mezzanines at the rear of the premises will not be counted unless they provide usable space such as electrical room or if they are large enough for fitness use.
  3. Mezzanine floor area tabulation is the net usable area measure from the interior surface of railings to the interior surface of railings, from the interior surface of railings to the interior face of drywall and from the interior surface of drywall to the interior surface of drywall. This measurement is excluding stairs, staircases, landings at stairs and staircases, elevators, shafts, leave outs and other architectural elements.



Floor Plan Hatched Symbol at Pool and Shower Area  
 Graded pad area by LL depressed 1.5" below typical pad height for LAF's depressed concrete slab in areas containing tile or pool/pool equipment room

Floor Plan Hatched Symbol  
 Graded pad area by LL depressed 2.5" below typical pad height for LAF's depressed concrete slab in areas containing wood flooring.



Ground Floor Level

INFORMATION PROVIDED FOR DESIGN INTENT ONLY. DESIGN PROFESSIONAL OF RECORD IS RESPONSIBLE FOR VERIFICATION OF APPLICABLE CODE REQUIREMENTS. WALL TYPES ILLUSTRATED ARE FOR PRELIMINARY SPACE PLANNING ONLY; THE DESIGN PROFESSIONAL SHALL BE RESPONSIBLE FOR CODE CONFORMANCE AND FLOOR PLAN DEVELOPMENT PER LAF'S PROGRAMMING CRITERIA.

- NOTE:**
1. Landlord to provide any required ramps, stairs, landings and rails required at walkways around the building for exiting.
  2. Floor to floor height shall be 13'-0" and floor to ceiling shall be 10'-0" at mezzanine where "stair stepping" equipment is to be used on the mezzanine level

Ground Floor - 31,500 S.F.  
 Mezzanine - 3,500 S.F.  
**TOTAL - 35,000 S.F.**

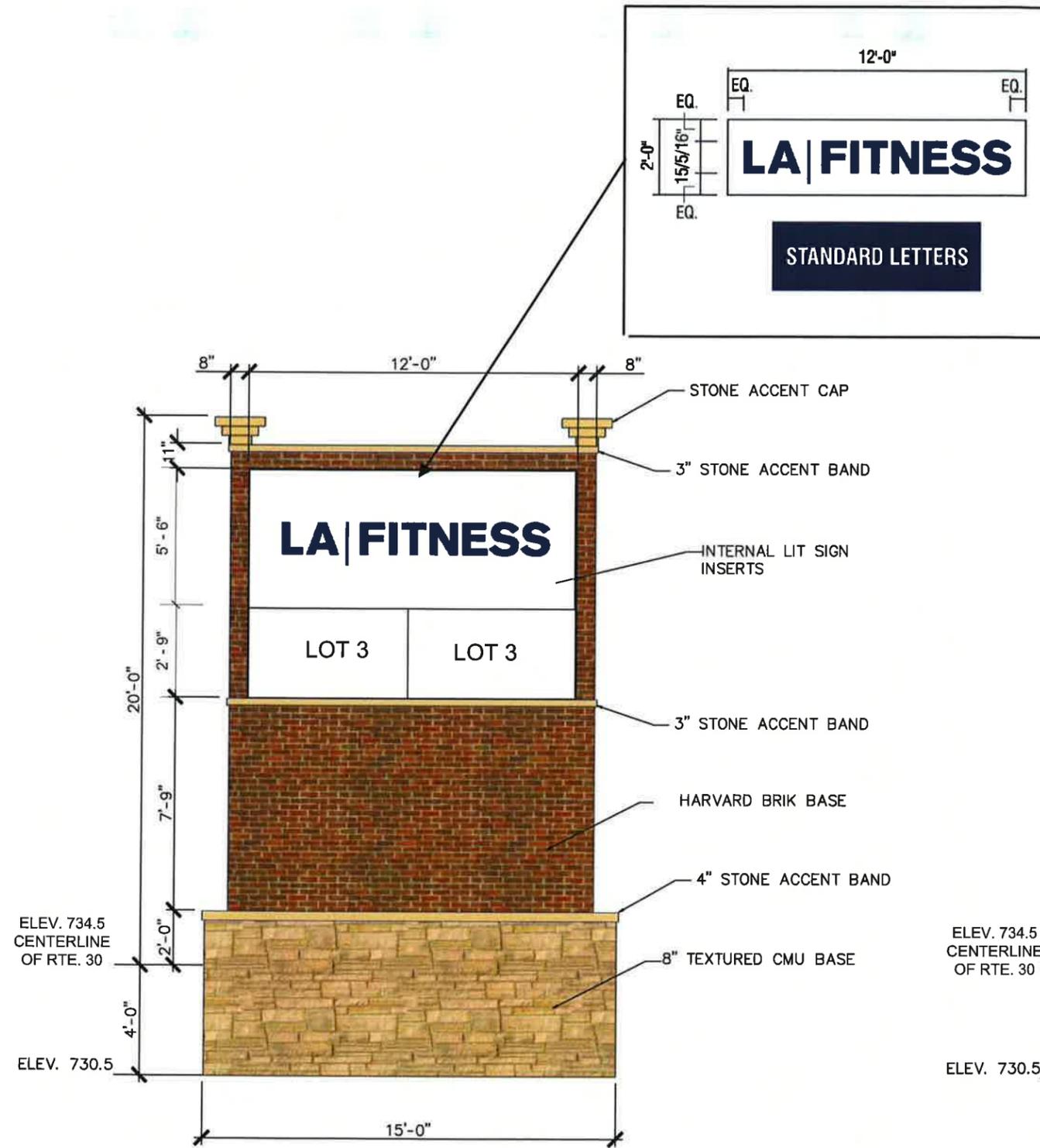
LAIFITNESS



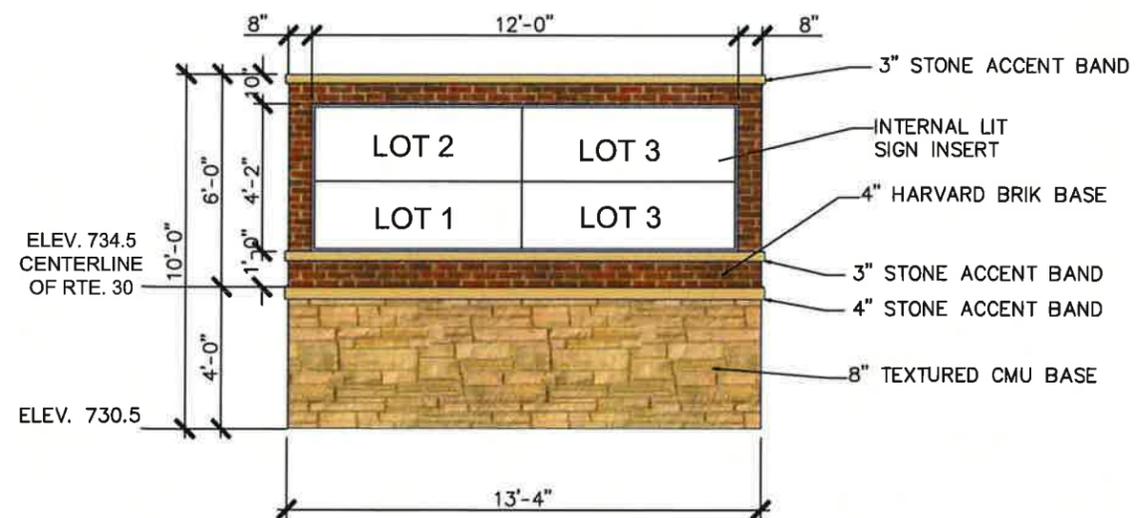
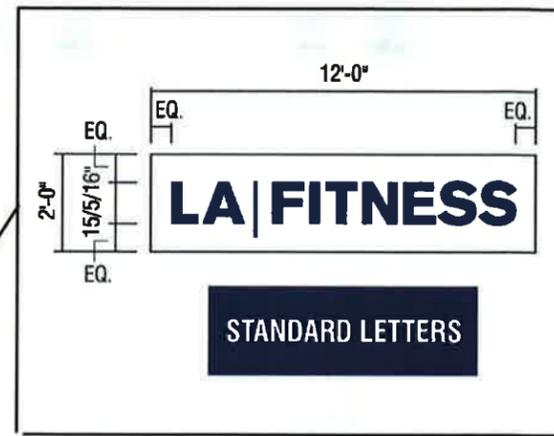
Concept Floor Plan - New Lenox, IL  
 12.17.13

Commercial P.U.D.  
 NEC Rte. 30 & Vancina Ln,  
 New Lenox, IL

Preliminary Monument Signs  
 1/10/2014

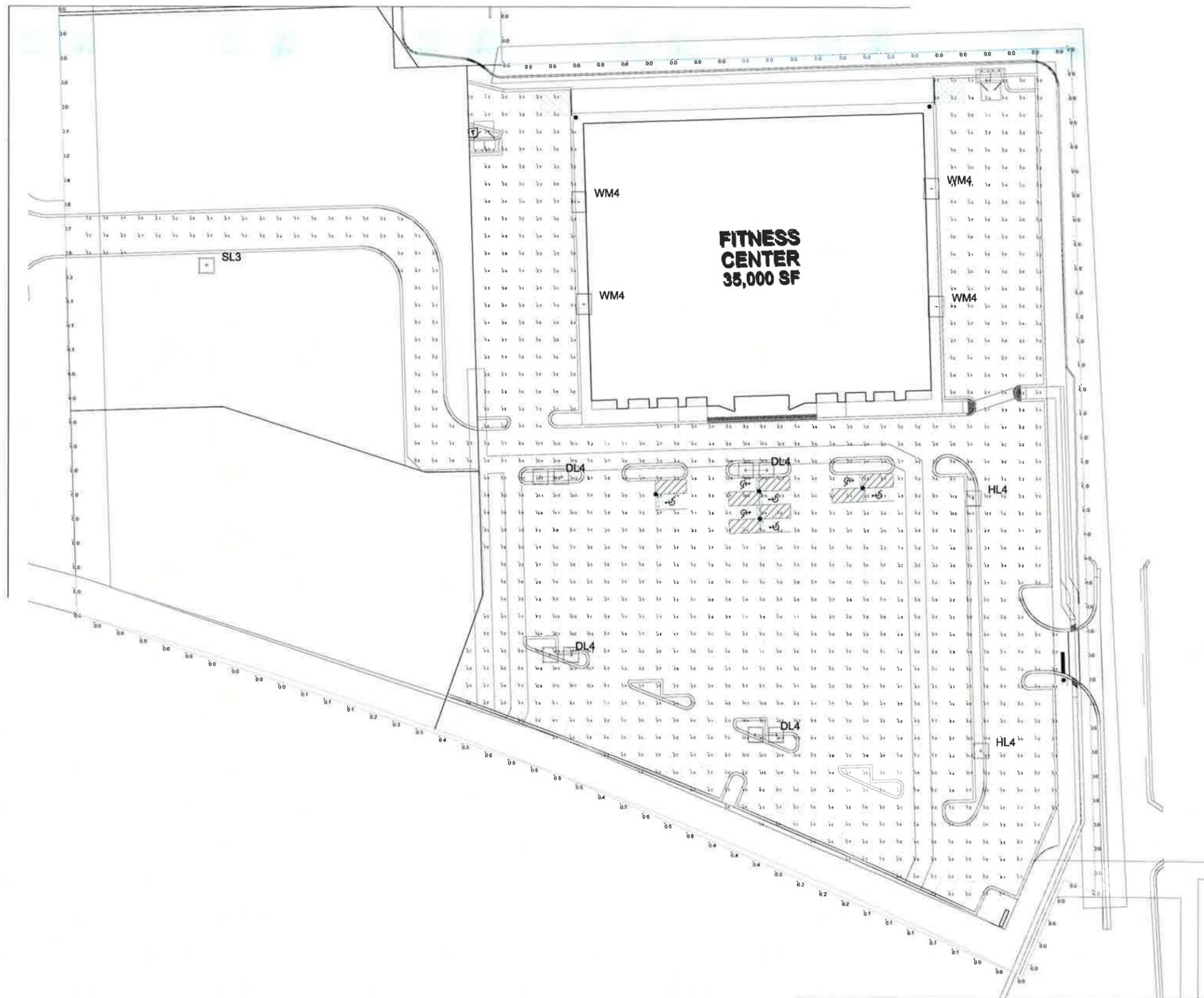


PROPOSED 100 S.F. SHARED MONUMENT  
 SIGN AT SOUTHEAST CORNER OF LOT 1  
 (SIGNAGE FOR LOTS 1 & 3)



PROPOSED 50 S.F. SHARED GROUND  
 SIGN AT SOUTHWEST CORNER OF LOT 2  
 (SIGNAGE FOR LOTS 1, 2, 3)





**RECEIVED**  
 JAN 27 2014

**NOTES:**  
 LIGHT LOSS FACTOR = 0.84  
 MOUNTING HEIGHT = 30' POLES FIXTURES  
 20' BUILDING MOUNTED FIXTURES  
 FOOTCANDLE LEVELS CALCULATED AT GRADE  
**CONTACT RUSS MILLER FOR PRICING**  
**317-780-8350**

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	Lum Watts
WM4	4	WM4	SINGLE	22000	0.840	250w METAL HALIDE WALLPACK AT 20' A.F.G	291
SL3	1	SL3	SINGLE	68000	0.840	750W PULSE START METAL HALIDE SHOEBOX	812
DL4	4	DL4	D180	68000	0.840	750W PULSE START METAL HALIDE SHOEBOX	812
HL4	2	HL4	SINGLE	68000	0.840	750W PULSE START METAL HALIDE SHOEBOX WITH HOUSE SIDE SHIELDS	812

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING LOTS	Illuminance	Fc	3.31	26.9	0.0	N.A.	N.A.
NORTH AND EAST PROPERTY LINE	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine applicability of the layout to existing or future field conditions.

This lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with Illuminating Engineering Society approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamps, and other variable field conditions.

P:\RUSS\FITNESS CENTER - NEW LENNOX, IL\CB4650.DWG



5855 KOPETSKY DRIVE SUITE G  
 INDIANAPOLIS, IN 46217  
 P: 317-780-8350  
 WWW.CBMCINC.COM

LIGHTING LAYOUT FOR  
 FITNESS CENTER - NEW LENNOX, IL

**SCALE: 1" = 30'**  
 STARTING DATE: 12/15/13  
 BY: KLS

drawing#  
**CB4650 -B**

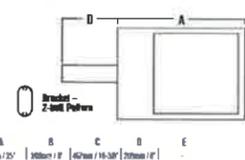


### CBMC LIGHTING SOLUTIONS LIGHT FIXTURE SPECIFICATION

LIGHTING SOLUTIONS

**FIXTURE TYPE:** H3  
**FIXTURE DESCRIPTION:** 400W PULSE START METAL HALIDE SHOEBOX W/ HOUSE SIDE SHIELDS  
**CBMC INTERNAL ORDERING CODE:** DL-3-400-PSMH-F-HSS  
**MOUNTING:** POLE  
**LAMP:** 400W

**CEILING TYPE:** VARIES  
**VOLTS:** FIELD VERIFY



**HOUSING** - One-piece aluminum, available in small, medium, and large. Corners are welded and finished to produce a clean, sharp appearance while increasing housing strength and ensuring weather-light construction.

**DOOR FRAME** - Aluminum, with two captive stainless steel door fasteners to provide secure closure and easy access with no loose hardware.

**SOCKETS** - Porcelain mogul-base sockets. All sockets are pulse-rated.

**LIGHT SOURCES** - Pulse-Start Metal Halide, Pulse-Start Metal Halide Reduced Envelope, Natural White Pulse-Start Metal Halide, Ceramic Metal Halide, Metal Halide or High Pressure Sodium. Clear lamp is supplied as standard.

**REFLECTORS/DISTRIBUTION PATTERNS** - Five multi-faceted reflector systems and distribution patterns are available with the Citation: Asymmetrical (A), Type III (S) medium distribution pattern for increased pole spacing, Forward Throw (FT), and Forward Perimeter (FP) for perimeter lighting applications to eliminate stray light and produce a sharp backside cutoff, and Type V (S), for an even symmetrical distribution pattern. A field-rotatable reflector, which provides flexibility in distribution patterns without moving the fixture, is available with the medium and large Forward Throw Citation only. Photometric data is tested in accordance with IESNA guidelines.



RUSS MILLER  
5855 KOPETSKY DR., SUITE G - INDIANAPOLIS, IN 46217  
rmler@cbmcinc.com  
CUSTOMER SERVICE: 317-780-8350

Type  
H3

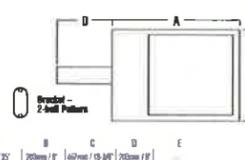


### CBMC LIGHTING SOLUTIONS LIGHT FIXTURE SPECIFICATION

LIGHTING SOLUTIONS

**FIXTURE TYPE:** S3  
**FIXTURE DESCRIPTION:** 400W PULSE START METAL HALIDE SHOEBOX  
**CBMC INTERNAL ORDERING CODE:** DL-3-400-PSMH-F  
**MOUNTING:** POLE  
**LAMP:** 400W

**CEILING TYPE:** VARIES  
**VOLTS:** FIELD VERIFY



**HOUSING** - One-piece aluminum, available in small, medium, and large. Corners are welded and finished to produce a clean, sharp appearance while increasing housing strength and ensuring weather-light construction.

**DOOR FRAME** - Aluminum, with two captive stainless steel door fasteners to provide secure closure and easy access with no loose hardware.

**SOCKETS** - Porcelain mogul-base sockets. All sockets are pulse-rated.

**LIGHT SOURCES** - Pulse-Start Metal Halide, Pulse-Start Metal Halide Reduced Envelope, Natural White Pulse-Start Metal Halide, Ceramic Metal Halide, Metal Halide or High Pressure Sodium. Clear lamp is supplied as standard.

**REFLECTORS/DISTRIBUTION PATTERNS** - Five multi-faceted reflector systems and distribution patterns are available with the Citation: Asymmetrical (A), Type III (S) medium distribution pattern for increased pole spacing, Forward Throw (FT), and Forward Perimeter (FP) for perimeter lighting applications to eliminate stray light and produce a sharp backside cutoff, and Type V (S), for an even symmetrical distribution pattern. A field-rotatable reflector, which provides flexibility in distribution patterns without moving the fixture, is available with the medium and large Forward Throw Citation only. Photometric data is tested in accordance with IESNA guidelines.



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Type  
S3

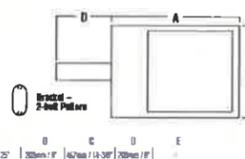


### CBMC LIGHTING SOLUTIONS LIGHT FIXTURE SPECIFICATION

LIGHTING SOLUTIONS

**FIXTURE TYPE:** S5  
**FIXTURE DESCRIPTION:** 400W PULSE START METAL HALIDE SHOEBOX  
**CBMC INTERNAL ORDERING CODE:** DL-5-400-PSMH-F  
**MOUNTING:** POLE  
**LAMP:** 400W

**CEILING TYPE:** VARIES  
**VOLTS:** FIELD VERIFY



**HOUSING** - One-piece aluminum, available in small, medium, and large. Corners are welded and finished to produce a clean, sharp appearance while increasing housing strength and ensuring weather-light construction.

**DOOR FRAME** - Aluminum, with two captive stainless steel door fasteners to provide secure closure and easy access with no loose hardware.

**SOCKETS** - Porcelain mogul-base sockets. All sockets are pulse-rated.

**LIGHT SOURCES** - Pulse-Start Metal Halide, Pulse-Start Metal Halide Reduced Envelope, Natural White Pulse-Start Metal Halide, Ceramic Metal Halide, Metal Halide or High Pressure Sodium. Clear lamp is supplied as standard.

**REFLECTORS/DISTRIBUTION PATTERNS** - Five multi-faceted reflector systems and distribution patterns are available with the Citation: Asymmetrical (A), Type III (S) medium distribution pattern for increased pole spacing, Forward Throw (FT), and Forward Perimeter (FP) for perimeter lighting applications to eliminate stray light and produce a sharp backside cutoff, and Type V (S), for an even symmetrical distribution pattern. A field-rotatable reflector, which provides flexibility in distribution patterns without moving the fixture, is available with the medium and large Forward Throw Citation only. Photometric data is tested in accordance with IESNA guidelines.



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CUSTOMER SERVICE: 317-780-8350

Type  
S5

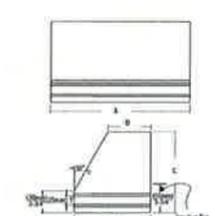


### CBMC LIGHTING SOLUTIONS LIGHT FIXTURE SPECIFICATION

LIGHTING SOLUTIONS

**FIXTURE TYPE:** WM7  
**FIXTURE DESCRIPTION:** 70W CFL WALL PACK  
**CBMC INTERNAL ORDERING CODE:** DL-FT-70-CFL-F  
**MOUNTING:** WALL  
**LAMP:** 70W

**CEILING TYPE:** VARIES  
**VOLTS:** FIELD VERIFY



**HOUSING** - The aluminum housing is available in two sizes and is a rectangular shape. All mounting hardware is stainless steel or anodized aluminum. The WALL MOUNT - A galvanneal steel universal wall-mounting plate is mounted directly to a 4" x 4" aluminum square junction box. An ODM plate is applied to the junction between the mounting plate and junction box, sealing the junction and ensuring a watertight seal. The design of the wall-mounting plate allows the fixture to be mounted to a variety of wall surfaces including masonry, concrete, brick, and wood. The universal plate permits the fixture to be mounted in the lighting position desired for step installation. A mounting plate is also available for use in ceiling applications.

**DOOR FRAME** - The aluminum door frame with two stainless steel captive fasteners allows easy access into the fixture. A one-piece stainless steel cap plate with the door frame against the housing. The door swings open and is held in place by a release.

**EMERGENCY OPERATION** - A variety of emergency options are available to comply with Life Safety Codes which require emergency lighting along the path of egress into the building's exterior. The lighting fixture can be used as a backup lighting source for emergency lighting systems as a stand-alone fixture or as a backup lighting source for emergency lighting systems. Emergency lighting options are offered on all fixtures. Options for one or two 12-watt separate emergency lamps with up to 30-watt (30-watt) backup. An available on both Compact Fluorescent and LED fixtures.

**SOCKETS** - LED lamp holders are standard. The fixture is designed to operate with Pulse-Start Metal Halide, Pulse-Start Metal Halide Reduced Envelope, Natural White Pulse-Start Metal Halide, Ceramic Metal Halide, Metal Halide, High Pressure Sodium, and large, medium or high output fluorescent lamps. Lamp configurations available: 1 x 70W (standard), 2 x 35W (optional), and Compact Fluorescent (optional).

**REFLECTORS/DISTRIBUTION PATTERNS** - Forward Throw (FT), FT and Type III (S) reflectors are available on small and medium, and Wide Throw (WT) reflectors are available on small. All wall light performance is tested in accordance with IESNA guidelines. Photometric data is tested in accordance with IESNA guidelines.



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Type  
WM7

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine applicability of the layout to existing or future field conditions.

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**CONTACT RUSS MILLER FOR PRICING  
317-780-8350**

**CBMC LIGHTING SOLUTIONS**

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LIGHTING LAYOUT FOR  
FITNESS CENTER - NEW LENNOX, IL

SCALE: N.T.S.

STARTING DATE 12/16/13	BY: KLS
---------------------------	---------

drawing#  
**CB4650 -PAGE 2**