

FINAL PLAT OF JACOB'S FIELD Unit 2A

A Subdivision of part of the West Half of the Southwest Quarter of Section 29, Township 35 North,
Range 11 East of the Third Principal Meridian, in the Village of New Lenox, Will County, Illinois.

LEGEND

- set 5/8" rebar in concrete
- Building S setback Line
- Public Utility and Drainage Easement
- Arc Length
- Radius
- Chord Length
- Chord Bearing
- Record Information
- Calculated
- Measured
- Fence Line (type noted)

NOTE

UNLESS OTHERWISE SHOWN, THE DASHED LINES ON THE ATTACHED PLAT ARE PARALLEL WITH, AND 10 (TEN) FEET DISTANT FROM THE REAR AND SIDE LOT LINES, AND REPRESENT THE LIMITS OF PUBLIC UTILITY, DRAINAGE AND CABLE T.V. EASEMENTS.

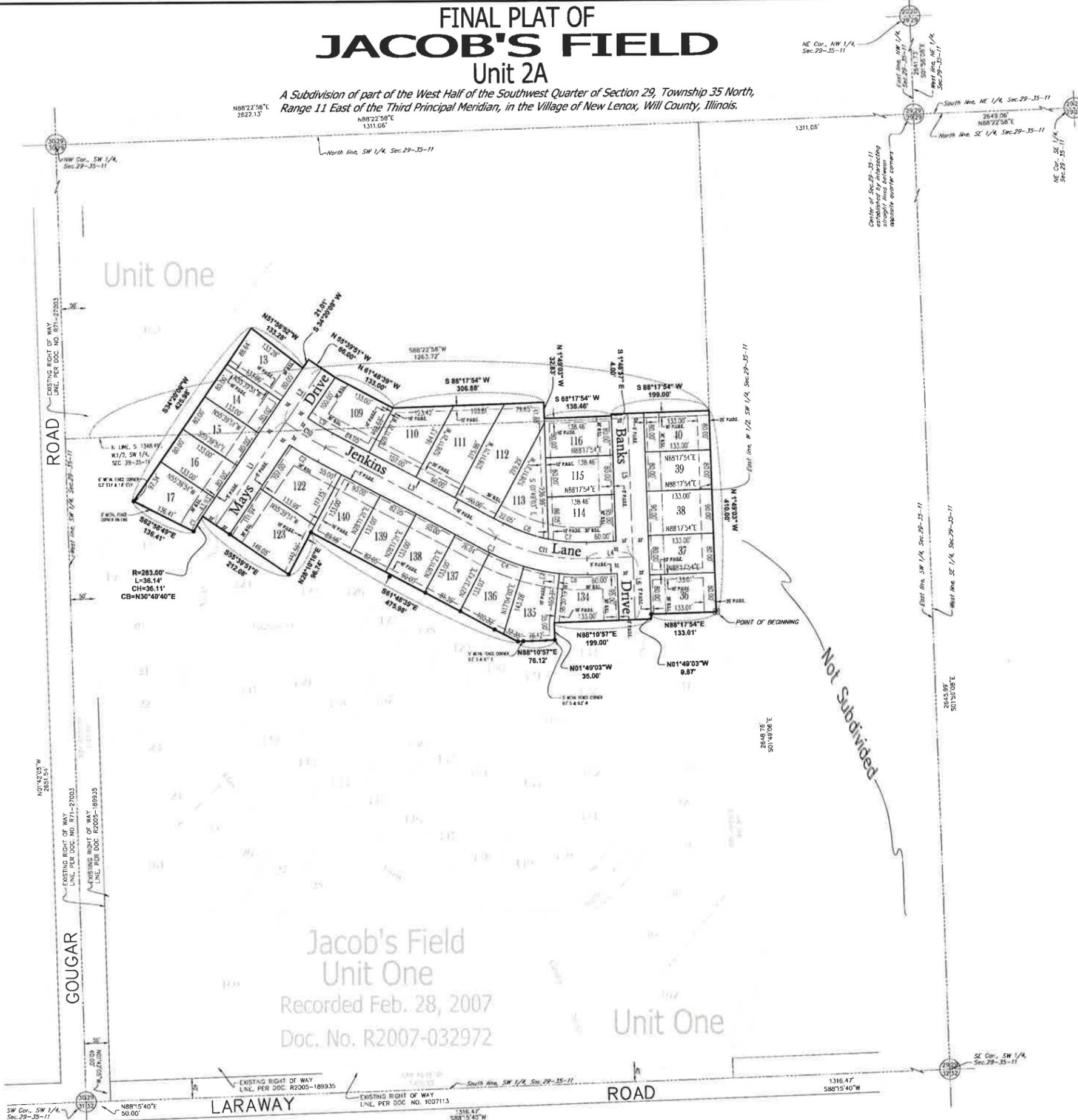
NORTH
GRAPHIC SCALE
(IN FEET)
1 inch = 100 ft
Basis of Bearings
N 88°15'40" E for the South line of the Southwest Quarter of Section 29-35-11 is based on the 8's State Plane Coordinate System NAD 83 (East Zone)

Lot Number	Area
Lot 13	11,214 SQ.FT.
Lot 14	10,640 SQ.FT.
Lot 15	10,640 SQ.FT.
Lot 16	10,640 SQ.FT.
Lot 17	11,838 SQ.FT.
Lot 35	10,640 SQ.FT.
Lot 37	10,640 SQ.FT.
Lot 38	11,970 SQ.FT.
Lot 39	10,640 SQ.FT.
Lot 40	10,640 SQ.FT.
Lot 109	14,152 SQ.FT.
Lot 110	14,272 SQ.FT.
Lot 111	17,100 SQ.FT.
Lot 112	21,250 SQ.FT.
Lot 113	13,380 SQ.FT.
Lot 114	12,933 SQ.FT.
Lot 115	11,077 SQ.FT.
Lot 116	11,077 SQ.FT.
Lot 122	14,160 SQ.FT.
Lot 123	15,675 SQ.FT.
Lot 134	12,059 SQ.FT.
Lot 135	12,689 SQ.FT.
Lot 136	11,892 SQ.FT.
Lot 137	10,727 SQ.FT.
Lot 138	11,970 SQ.FT.
Lot 139	10,913 SQ.FT.
Lot 140	11,967 SQ.FT.

Curve #	Arc Length	Radius	Delta	Chord Bearing	Chord Length
C1	36.14'	283.00'	7°18'59"	S 30°40'40" W	36.11'
C2	66.85'	523.14'	6°08'18"	S 58°44'15" E	66.82'
C3	3.96'	404.00'	0°33'39"	S 62°05'29" E	3.96'
C4	74.47'	404.00'	10°33'41"	S 67°39'09" E	74.35'
C5	74.47'	404.00'	10°33'41"	S 78°12'50" E	74.35'
C6	58.69'	404.00'	8°19'22"	S 87°39'22" E	58.63'
C7	79.18'	338.00'	13°25'21"	S 85°06'23" E	79.00'
C8	97.83'	338.00'	16°35'03"	S 70°06'11" E	97.49'
C9	59.77'	557.14'	6°08'48"	S 58°44'15" E	59.74'

LINE	LENGTH	BEARING
L1	252.86'	S 34°20'09" W
L2	132.07'	S 34°20'09" W
L3	393.10'	S 61°48'39" E
L4	93.00'	N 88°10'57" E
L5	291.93'	N 1°49'03" W
L6	128.00'	N 1°49'03" W

Curve #	Arc Length	Radius	Delta	Chord Bearing	Chord Length
C10	96.33'	590.14'	9°21'08"	S 57°08'05" E	96.22'
C11	194.30'	371.00'	30°00'24"	S 76°48'51" E	192.09'



Jacob's Field
Unit One
Recorded Feb. 28, 2007
Doc. No. R2007-032972

RECEIVED
JUN 24 2016
BY: _____

Latest Revision: 6-23-2016
Date Prepared: 6-13-2016

RT & A Ruettiger, Tonelli & Associates, Inc.
Surveyors • Engineers • Planners • Landscape Architects • GIS, Consultants
129 CAPUSTA DRIVE - SHOREWOOD, ILLINOIS 60404
PH: (815) 744-6608 FAX: (815) 744-9101
www.ruettigertonnelli.com

R.T. & A. Dwg. No.: 304-0195-U2A REC 01

FINAL PLAT OF JACOB'S FIELD Unit 2A

A Subdivision of part of the West Half of the Southwest Quarter of Section 29, Township 35 North, Range 11 East of the Third Principal Meridian, in the Village of New Lenox, Will County, Illinois.

STATE OF ILLINOIS) COUNTY OF WILL) RUETTIGER, TONELLI & ASSOCIATES, INC., ILLINOIS PROFESSIONAL DESIGN FIRM No. 184-001251, HEREBY CERTIFY THAT, UNDER THE DIRECTION OF THE OWNER THEREOF, IT HAS SURVEYED AND SUBDIVIDED INTO 27 LOTS AND 3 STREETS THE FOLLOWING DESCRIBED PARCEL OF LAND:

LEGAL DESCRIPTION - UNIT 2A JACOB'S FIELD THAT PART OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 35 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS BEGINNING AT THE NORTHEAST CORNER OF LOT 35 IN JACOB'S FIELD UNIT ONE, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 28, 2007 AS DOCUMENT NO. 2007-032872; THENCE NORTH 01 DEGREE 49 MINUTES 03 SECONDS WEST, ON THE EAST LINE OF THE WEST HALF OF SAID SOUTHWEST QUARTER, 410.00 FEET; THENCE SOUTH 88 DEGREES 17 MINUTES 54 SECONDS WEST, 198.00 FEET; THENCE SOUTH 01 DEGREE 48 MINUTES 57 SECONDS EAST, 4.00 FEET; THENCE SOUTH 88 DEGREES 17 MINUTES 54 SECONDS WEST, 138.48 FEET; THENCE NORTH 01 DEGREE 49 MINUTES 03 SECONDS WEST, 32.83 FEET; THENCE SOUTH 88 DEGREES 17 MINUTES 54 SECONDS WEST, 306.88 FEET; THENCE NORTH 61 DEGREES 48 MINUTES 39 SECONDS WEST, 133.00 FEET; THENCE NORTH 55 DEGREES 30 MINUTES 51 SECONDS WEST, 86.00 FEET; THENCE SOUTH 34 DEGREES 20 MINUTES 29 SECONDS WEST, 21.01 FEET; THENCE NORTH 51 DEGREES 56 MINUTES 52 SECONDS WEST, 133.28 FEET TO AN EASTERLY CORNER ON LOT 183 IN SAID JACOB'S FIELD UNIT ONE; THENCE SOUTH 34 DEGREES 20 MINUTES 09 SECONDS WEST, ON THE EASTERLY LINE OF SAID LOT 183, A DISTANCE OF 425.98 FEET TO THE NORTHWESTERLY CORNER OF LOT 18 IN SAID JACOB'S FIELD UNIT ONE; THENCE SOUTH 10 DEGREES AND DISTANCES ON THE NORTHERLY LINE OF SAID JACOB'S FIELD UNIT ONE, THENCE SOUTH 62 DEGREES 58 MINUTES 49 SECONDS EAST, 138.41 FEET; THENCE NORTHWESTERLY ON A 283.00 FOOT RADIUS CURVE, CONCAVE SOUTHEASTERLY, AN ARC LENGTH OF 36.14 FEET, THE CHORD OF SAID CURVE BEARS NORTH 30 DEGREES 40 MINUTES 40 SECONDS EAST, 36.11 FEET; THENCE SOUTH 50 DEGREES 39 MINUTES 51 SECONDS EAST, 212.08 FEET; THENCE NORTH 28 DEGREES 10 MINUTES 16 SECONDS EAST, 98.74 FEET; THENCE SOUTH 61 DEGREES 48 MINUTES 39 SECONDS EAST, 475.98 FEET; THENCE NORTH 88 DEGREES 10 MINUTES 57 SECONDS EAST, 76.12 FEET; THENCE NORTH 01 DEGREE 48 MINUTES 03 SECONDS WEST, 35.00 FEET; THENCE NORTH 88 DEGREES 10 MINUTES 57 SECONDS EAST, 198.00 FEET; THENCE NORTH 01 DEGREE 49 MINUTES 03 SECONDS WEST, 9.87 FEET; THENCE NORTH 88 DEGREES 10 MINUTES 57 SECONDS EAST, 133.01 FEET TO THE POINT OF BEGINNING, ALL IN THE VILLAGE OF NEW LENOX, WILL COUNTY, ILLINOIS

MORTGAGEE'S CERTIFICATE STATE OF ILLINOIS) COUNTY OF WILL) NLSB, AN ILLINOIS BANKING CORPORATION, AS MORTGAGEE OF THE PROPERTY DESCRIBED HEREON, HEREBY CONSENTS TO THE RECORDING OF THE SUBDIVISION AS HEREON SHOWN. NLSB, AN ILLINOIS BANKING CORPORATION

STATE OF ILLINOIS) COUNTY OF WILL) UNDER THE AUTHORITY PROVIDED BY THE ILLINOIS COMPILED STATUTES, ENACTED BY THE STATE LEGISLATURE OF THE STATE OF ILLINOIS, AND ORDINANCE ADOPTED BY THE VILLAGE OF NEW LENOX, ILLINOIS, THIS PLAT HAS BEEN APPROVED BY THE VILLAGE BOARD OF NEW LENOX AND MUST BE RECORDED WITHIN 30 DAYS OF THE DATE OF WRITTEN APPROVAL BY THE VILLAGE BOARD. OTHERWISE IT IS NULL AND VOID.

THIS PLAT WAS RECOMMENDED FOR APPROVAL BY THE VILLAGE OF NEW LENOX PLANNING COMMISSION AT A MEETING HELD ON _____, 2016.

CHAIRMAN OF THE VILLAGE OF NEW LENOX PLANNING COMMISSION DATE

SECRETARY DATE

STATE OF ILLINOIS) COUNTY OF WILL) THIS PLAT WAS APPROVED BY THE BOARD OF TRUSTEES OF THE VILLAGE OF NEW LENOX AT A MEETING HELD ON _____, 2016.

VILLAGE PRESIDENT DATE

VILLAGE CLERK DATE

DIRECTOR OF THE TAX MAPPING AND PLATING OFFICE DO HEREBY

CERTIFY THAT I HAVE CHECKED THE PROPERTY DESCRIPTION ON THIS PLAT AGAINST AVAILABLE COUNTY RECORDS AND FIND SAID DESCRIPTION TO BE TRUE AND CORRECT. THE PROPERTY HEREIN DESCRIBED IS LOCATED ON TAX MAP # _____ AND IDENTIFIED AS PERMANENT REAL ESTATE TAX INDEX NUMBER (PIN) _____

DATED THIS _____ DAY OF _____, 2016

DIRECTOR

STATE OF ILLINOIS) COUNTY OF WILL) I, NANCY SCHULTZ VOOTS, COUNTY CLERK OF WILL COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT I FIND NO DELINQUENT TAXES OR UNPAID CURRENT TAXES AGAINST ANY OF THE REAL ESTATE DESCRIBED IN THE FOREGOING CERTIFICATES.

DATED THIS _____ DAY OF _____, 2016.

WILL COUNTY CLERK

- I FURTHER CERTIFY THAT: 1. THE ACCOMPANYING PLAT IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION AS MADE UNDER MY DIRECTION. 2. ALL LOT CORNERS AND POINTS OF CURVATURE HAVE BEEN MONUMENTED (WITH 5/8" X 30" REBAR, UNLESS OTHERWISE NOTED) ACCORDING TO THE PLAT ACT AS AMENDED. 3. THIS SUBDIVISION IS MONUMENTED ACCORDING TO EXISTING STATE AND LOCAL ORDINANCES. 4. NO PART OF THIS SUBDIVISION LIES WITHIN A SPECIAL FLOOD HAZARD AREA AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE RATE MAP NUMBER 171602025C, EFFECTIVE DATE SEPTEMBER 6, 1995. 5. ALL DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF. 6. ALL DIMENSIONS ON CURVES ARE ARC DISTANCES. 7. THE PROPERTY DESCRIBED ABOVE IS LOCATED WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF NEW LENOX, ILLINOIS. 8. THIS SUBDIVISION CONTAINS 10.028 ACRES MORE OR LESS.

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____, 2016.

BY BRAD A. ZENTNY - ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3524 (My License Expires 11-30-16) MONUMENTS TO BE SET AS PRESCRIBED IN ILLINOIS COMPILED STATUTES CHAPTER 225 SECTION 330/6, A-5, AS IT RELATES TO STANDARDS OF PRACTICE UNDER THE ILLINOIS PROFESSIONAL LAND SURVEYOR ACT OF 1989, AS AMENDED. RUETTIGER, TONELLI & ASSOCIATES, INC., ILLINOIS PROFESSIONAL DESIGN FIRM NO. 184-001251

STATE OF ILLINOIS) COUNTY OF WILL) THE UNDERSIGNED, OF NORTH STAR TRUST HTM 1054 UAD 06/16/87 AND NOT PERSONALLY THE OWNER OF THE PROPERTY DESCRIBED HEREON, DOES HEREBY LAID, PLAT AND SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THE ATTACHED PLAT. THIS SUBDIVISION SHALL BE KNOWN AND DESIGNATED AS JACOB'S FIELD, UNIT 2A, AN ADDITION TO THE VILLAGE OF NEW LENOX, WILL COUNTY. ALL STREETS, ALLEYS AND PUBLIC OPEN SPACES SHOWN AND NOT HERETOFORE DEDICATED ARE HEREBY DEDICATED TO THE PUBLIC. FRONT AND SIDE YARD BUILDING SETBACK LINES ARE HEREBY ESTABLISHED AS SHOWN ON THIS PLAT, BETWEEN WHICH LINES AND THE PROPERTY LINES OF THE STREETS THERE SHALL BE ERRECTED OR MAINTAINED NO BUILDING OR STRUCTURE. THERE ARE STRIPS OF GROUND, 10 (TEN) FEET IN WIDTH, AS SHOWN ON THIS PLAT AND MARKED "EASEMENT" RESERVED FOR THE USE OF PUBLIC UTILITIES FOR THE INSTALLATION OF WATER AND SEWER MAINS, POLES, DUCTS, LINES, AND WIRES. SUBJECT AT ALL TIMES TO THE PROPER AUTHORITIES AND TO THE EASEMENT HEREON RESERVED. NO PERMANENT OR OTHER STRUCTURES ARE TO BE ERRECTED OR MAINTAINED UPON SAID STRIPS OF LAND, BUT OWNERS OF LOTS IN THIS SUBDIVISION SHALL TAKE THEIR TITLES SUBJECT TO THE RIGHTS OF PUBLIC UTILITIES AND TO THE RIGHTS OF THE OWNERS OF OTHER LOTS IN THIS SUBDIVISION.

WITNESS OUR HANDS AND SEALS THIS _____ DAY OF _____, 2016.

(TITLE) NORTH STAR TRUST HTM 1054 UAD 06/16/87 6/6 SHARON N. WEBER, TRUSTEE W/POWER OF DIRECTION 19224 SCHOOL HOUSE ROAD MOKENA, IL 60448

STATE OF ILLINOIS) COUNTY OF WILL) I, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT _____ AND _____ OF JACOB'S FIELD LLC, PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH _____ AND _____ RESPECTIVELY, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE SAID INSTRUMENT AS THEIR FREE AND VOLUNTARY ACT, AND AS THE FREE AND VOLUNTARY ACT OF SAID LLC, FOR THE USES AND PURPOSES THEREIN SET FORTH. AND THAT THE SAID _____ DID ALSO THEN AND THERE ACKNOWLEDGE THAT HE/SHE AS CUSTODIAN OF THE CORPORATE SEAL OF SAID LLC, DID AFFIX SAID SEAL TO SAID INSTRUMENT AS HIS/HER OWN FREE AND VOLUNTARY ACT, AND AS THE FREE AND VOLUNTARY ACT OF SAID LLC, FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____, 2016.

NOTARY PUBLIC

(TITLE)

(TITLE)

STATE OF ILLINOIS) COUNTY OF WILL) I, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT _____ AND _____ OF NLSB, PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH _____ AND _____ RESPECTIVELY, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE SAID INSTRUMENT AS THEIR FREE AND VOLUNTARY ACT, AND AS THE FREE AND VOLUNTARY ACT OF SAID CORPORATION, FOR THE USES AND PURPOSES THEREIN SET FORTH. AND THAT THE SAID _____ DID ALSO THEN AND THERE ACKNOWLEDGE THAT HE/SHE AS CUSTODIAN OF THE CORPORATE SEAL OF SAID CORPORATION DID AFFIX SAID SEAL TO SAID INSTRUMENT AS HIS/HER OWN FREE AND VOLUNTARY ACT, AND AS THE FREE AND VOLUNTARY ACT OF SAID CORPORATION, FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____, 2016.

NOTARY PUBLIC

SCHOOL DISTRICT BOUNDARY STATEMENT THE UNDERSIGNED, BEING DULY SWORN, UPON HIS/HER OATH DEPOSES AND STATES AS FOLLOWS:

1.) THE UNDERSIGNED, OF NORTH STAR TRUST HTM 1054 UAD 06/16/87 AND NOT PERSONALLY THE OWNER OF THE PROPERTY LEGALLY DESCRIBED ON THE ATTACHED PLAT OF SUBDIVISION, WHICH LEGAL DESCRIPTION IS ATTACHED HERETO AND INCORPORATED BY REFERENCE HEREIN; AND

2.) TO THE BEST OF THE OWNERS KNOWLEDGE, THE SCHOOL DISTRICTS IN WHICH EACH TRACT, PARCEL, LOT OR BLOCK OF THE SUBDIVISION LIES ARE:

NEW LENOX SCHOOL DISTRICT NO. 122 LINCOLNWAY COMMUNITY HIGH SCHOOL DISTRICT NO. 210

(TITLE) DATE

(TITLE) DATE

STATE OF ILLINOIS) COUNTY OF WILL) SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____, 2016.

NOTARY PUBLIC

EASEMENT PROVISIONS

AN EASEMENT FOR SERVING THE SUBDIVISION AND OTHER PROPERTY WITH ELECTRIC AND COMMUNICATIONS SERVICE IS HEREBY RESERVED FOR AND GRANTED TO COMMUNICATIONS EDISON COMPANY AND AMERITECH, GRANTEEES.

THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, JOINTLY AND SEVERALLY, TO INSTALL, OPERATE, MAINTAIN AND REMOVE FROM THE TIME FACILITIES USED IN CONNECTION WITH OVERHEAD AND UNDERGROUND TRANSMISSION AND DISTRIBUTION OF ELECTRICITY AND SIGNALS AND SIGNALS IN OVER, UNDER, ACROSS, ALONG AND UPON THE SURFACE OF THE PROPERTY SHOWN WITHIN THE DASHED LINES ON THE PLAT AND MARKED "EASEMENT". THE PROPERTY DESIGNATED IN THE DECLARATION OF COVENANT AND/OR THIS PLAT AS "COMMON ELEMENTS" AND THE PROPERTY DESIGNATED ON THE PLAT AS A "COMMON AREA OR AREAS" AND THE PROPERTY DESIGNATED ON THE PLAT FOR STREETS AND ALLEYS, WHETHER PUBLIC OR PRIVATE, TOGETHER WITH THE RIGHT TO INSTALL, REQUIRED SERVICE CONNECTIONS OVER OR UNDER THE SURFACE OF EACH LOT AND COMMON AREA OR AREAS, TO SERVE IMPROVEMENTS THEREON, OR ON ADJACENT LOTS AND COMMON AREA OR AREAS, THE RIGHT TO CUT, TRIM OR REMOVE TREES, BUSHES AND ROOTS AS MAY BE REASONABLY REQUIRED NECESSARY TO THE RIGHTS HEREON GIVEN AND THE RIGHT TO ENTER UPON THE SUBDIVIDED PROPERTY FOR ALL SUCH PURPOSES. OBSTRUCTIONS SHALL NOT BE PLACED OVER GRANTEEES' FACILITIES OR IN, UPON, OR OVER THE PROPERTY WITHIN THE DASHED LINES MARKED "EASEMENT" WITHOUT THE PRIOR WRITTEN CONSENT OF GRANTEEES. AFTER INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF THE SUBDIVIDED PROPERTY SHALL NOT BE ALTERED IN A MANNER SO AS TO INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE THEREOF.

THE TERM "COMMON AREA OR AREAS" IS DEFINED AS A LOT, PART OF A LOT, OR PART OF AN AREA WITHIN THE PLANNED UNIT DEVELOPMENT, WHICH IS RESERVED IN WHOLE OR IN PART TO THE SEPARATELY OWNED LOTS, PARCELS OR AREAS WITHIN THE PLANNED UNIT DEVELOPMENT, EVEN THOUGH SUCH BE OTHERWISE DESIGNATED ON THE PLAT BY TERMS SUCH AS "OUTLOTS," "COMMON ELEMENTS," "OPEN SPACE," "OPEN AREA," "COMMON GROUND," "MARKING AND SIGNAGE," "COMMON ELEMENTS" OR "COMMON ELEMENTS." THE TERM "COMMON ELEMENTS" INCLUDES REAL PROPERTY SERVED WITH INTERIOR DRIVEWAYS AND WALKWAYS, BUT EXCLUDES REAL PROPERTY PHYSICALLY OCCUPIED BY A BUSINESS, INDUSTRIAL OR STRUCTURES SUCH AS A POOL OR RETENTION POND, OR MECHANICAL EQUIPMENT. ALLOCATION OF FACILITIES WILL BE DONE BY GRANTEEES AT COST OF GRANTEEES/LOT OWNER, UPON WRITTEN REQUEST.

AN EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO N.COR GAS COMPANY, ITS SUCCESSORS AND ASSIGNS, IN ALL PLATTED "EASEMENT" AREAS, STREETS, ALLEYS, OTHER PUBLIC WAYS AND PLACES SHOWN ON THIS PLAT, SAID EASEMENT TO BE FOR THE INSTALLATION, MAINTENANCE, RE-LOCATION, REPAIR, AND REMOVAL OF GAS MAINS AND APPURTENANCES FOR THE PURPOSE OF SERVING ALL AREAS SHOWN ON THIS PLAT AS WELL AS OTHER PROPERTY, WHETHER OR NOT CONTIGUOUS THEREON. NO BUILDING OR OTHER STRUCTURES SHALL BE CONSTRUCTED OR ERRECTED IN ANY SUCH "EASEMENT" AREAS, STREETS, ALLEYS, OR OTHER PUBLIC WAYS OR PLACES NOW OR SHALL ANY OTHER USE BE MADE THEREIN WHICH WILL INTERFERE WITH THE EASEMENTS HEREBY RESERVED AND GRANTED HEREBY.

AN EASEMENT FOR SERVING THE SUBDIVISION AND OTHER PROPERTY WITH CABLE TELEVISION IS HEREBY RESERVED FOR AND GRANTED TO AN APPROVED CABLE COMPANY. THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, TO INSTALL, OPERATE, MAINTAIN AND REMOVE FROM THE TIME TO THE FACILITIES USED IN CONNECTION WITH OVERHEAD AND UNDERGROUND TRANSMISSIONS AND DISTRIBUTION OF CABLE TV SIGNALS IN ALL PLATTED "EASEMENT" AREAS, STREETS, ALLEYS, OTHER PUBLIC WAYS AND PLACES SHOWN ON THIS PLAT, TOGETHER WITH THE RIGHT TO INSTALL REQUIRED SERVICE CONNECTION OVER OR UNDER EACH LOT TO SERVE IMPROVEMENTS THEREON. NO BUILDING OR OTHER STRUCTURES SHALL BE CONSTRUCTED OR ERRECTED IN ANY EASEMENT AREA WITHOUT THE PRIOR WRITTEN CONSENT OF GRANTEEES.

AN EASEMENT FOR DRAINAGE

ALL EASEMENTS AND CATCH BASINS OR DRAINAGE EASEMENTS ON THIS PLAT ARE RESERVED FOR AND GRANTED TO THE VILLAGE OF NEW LENOX AND TO THEIR SUCCESSORS AND ASSIGNS. NO BUILDING SHALL BE PLACED ON SAID EASEMENT, BUT THE SAME MAY BE USED FOR OTHER PURPOSES THAT DO NOT ADVERSELY AFFECT THE STORAGE/FREE FLOW OF STORMWATER. EACH OWNER OR SUCCESSOR PURCHASER SHALL EQUALLY RESPONSIBLE FOR MAINTAINING THE EASEMENT, AND SHALL NOT DESTROY OR MODIFY GRABES OR SLOPES WITHOUT FIRST RECEIVING WRITTEN APPROVAL OF THE VILLAGE OF NEW LENOX.

TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS, THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, ADEQUATE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS AND PUBLIC AREAS, OR DRAINAGE WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL NOT BE DEPOSITED ON THE PROPERTY OF ADJOINING LAND OWNERS IN SUCH CONCENTRATIONS AS MAY CAUSE DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

DATED THIS _____ DAY OF _____, 2016.

OWNER ENGINEER

THIS INSTRUMENT NUMBER _____ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF WILL COUNTY AFORESAID, ON THIS _____ DAY OF _____, 2016, AT _____ O'CLOCK _____ P.M., AND MICROFILMED.

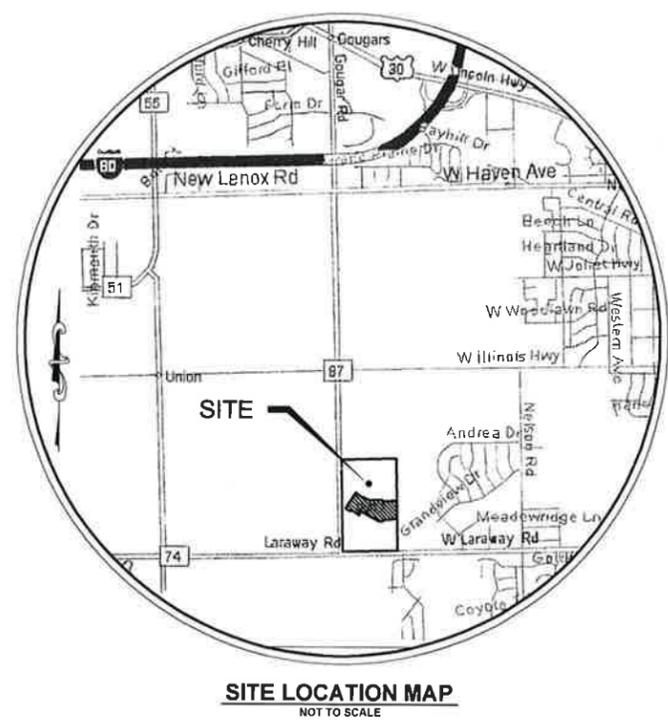
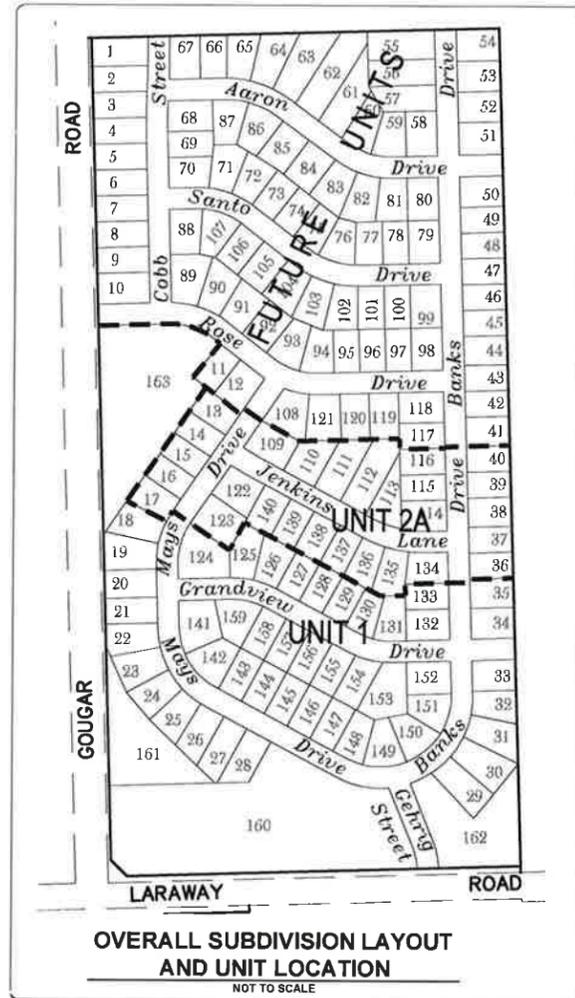
WILL COUNTY RECORDER

RT & A Ruettiger, Tonelli & Associates, Inc. Surveyors • Engineers • Planners • Landscape Architects • GIS Consultants 129 CARPATA DRIVE - SHOREWOOD, ILLINOIS 60404 PH: (815) 744-6000 FAX: (815) 744-0101 website: www.rtaandassociates.com R.T. & A. Dwg. No.: 304-0195-U2A REC 02

FINAL LANDSCAPE PLANS for JACOB'S FIELD UNIT 2A

Village of New Lenox Will County, Illinois

SHEET No.	DESCRIPTION
1.)	COVER SHEET
2.)	INDEX PLAN
3.)	PARKWAY PLAN
4.)	PLANTING DETAILS AND SPECIFICATIONS



PROPOSED	LEGEND	EXISTING
	ELEVATION	///
	STORM SEWER	
	SANITARY SEWER	
	WATER MAIN	
	GAS MAIN	
	OVERHEAD ELECTRIC	
	UNDERGROUND TELEPHONE	
	WATER SERVICE	
	SANITARY SEWER SERVICE	
	SUMP PUMP CONVEYANCE CONDUIT	
	STORM MANHOLE	
	STORM INLET	
	CATCHBASIN	
	SANITARY MANHOLE	
	FIRE HYDRANT	
	STREETLIGHT	

DEVELOPER:
Jacob's Field, LLC.
9485 Bormet Drive
Mokena, Illinois 60448
Ph. (708) 479-4497

OWNER:
NORTH STAR TRUST, HTNL 1054 UAD 06/16/87
c/o SHARON M. WEBER, TRUSTEE W/POWER OF DIRECTION
19224 SCHOOL HOUSE ROAD
MOKENA, ILLINOIS 60448

LAND SURVEYOR / ENGINEER / LANDSCAPE ARCHITECT:
RUETTIGER, TONELLI & ASSOCIATES, INC.
129 CAPISTA DRIVE
SHOREWOOD, ILLINOIS 60404
Ph. (815) 744-6600

JULIE 1-800-892-0123 TOLL FREE
JOINT UTILITY LOCATING
INFORMATION FOR EXCAVATORS
Call 48 hours before you dig
INCLUDE FOLLOWING INFORMATION

- * County, City, Section & 1/4 Section No. or
- * County, Township, Section & 1/4 Section No.
- * Address, name and firm
- * Firm address
- * Can be reached phone #
- * Start time to end
- * Location of proposed excavation
- * Type and extent of work
- * Starting time and date

RECEIVED
JUN 24 2016
BY: _____

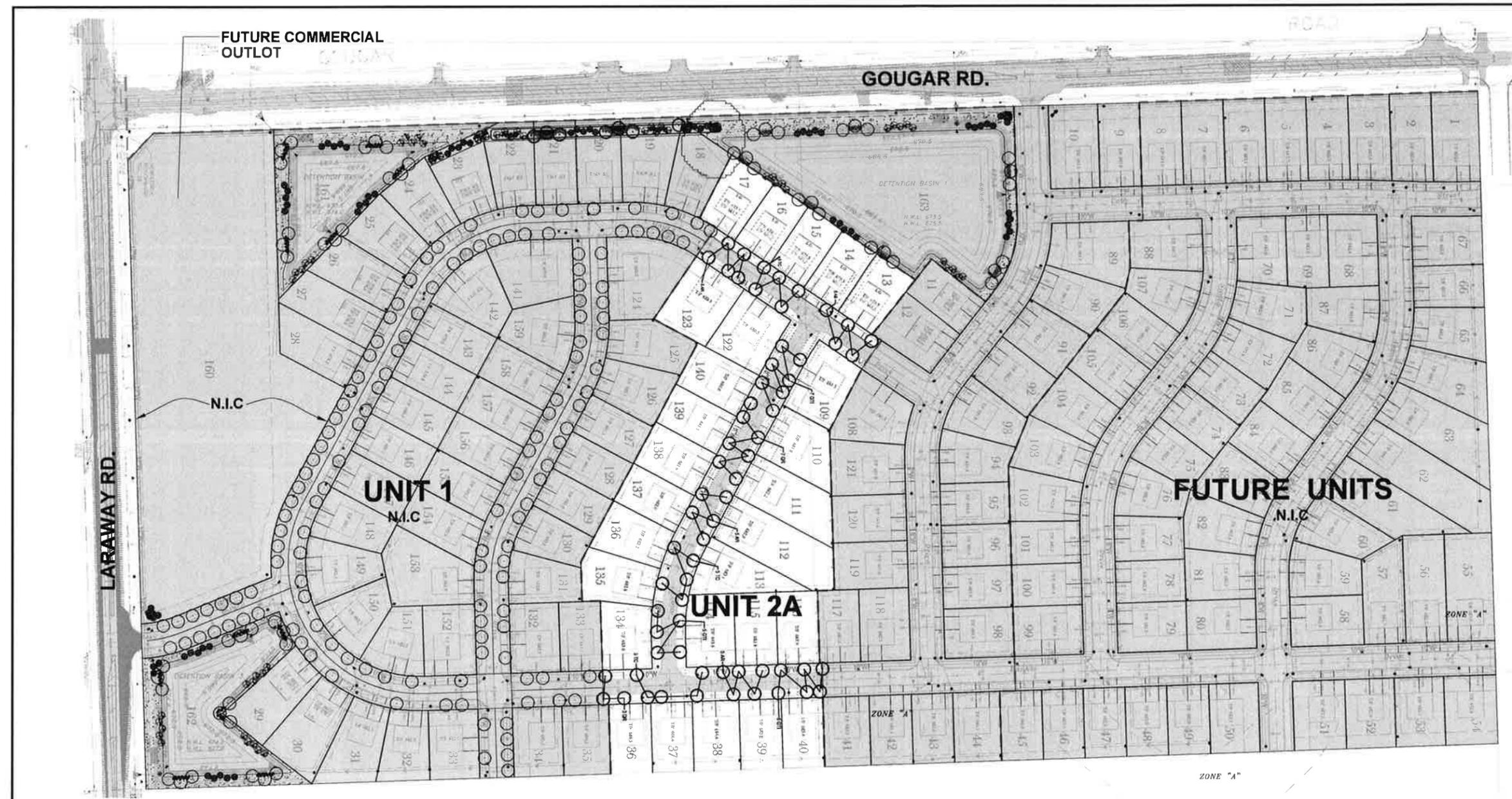
BENCHMARK:
NE CORNER OF NEW LENOX TOWNSHIP W/POWER OF DIRECTION 1054 UAD 06/16/87 AT THE INTERSECTION CORNER OF LARAWAY ROAD AND SCHOOL HOUSE ROAD (SEE BOX 1054-20)

SITE BENCHMARK:
SET CONCRETE MARK IN WEST END OF POWER POLE ON EAST SIDE OF GOUGAR ROAD AT NORTH END OF THE SOUTHWEST QUARTER (SEE BOX 1054-20)

REVISIONS			DOCUMENTATION			PROJECT TITLE	DRAWING TITLE	DRAWING No.	
No.	DATE	DESCRIPTION	No.	DATE	DESCRIPTION				BY
1	6-23-2016	Submit For Review				RT & A Ruettiger, Tonelli & Associates, Inc. Surveyors • Engineers • Planners • Landscape Architects • G.I.S. Consultants 129 CAPISTA DRIVE - SHOREWOOD, ILLINOIS 60404 PH (815) 744-6600 FAX (815) 744-0101 website: www.ruettigertonnelli.com	JACOBS FIELD Unit 2A New Lenox, Illinois	FINAL LANDSCAPE COVER SHEET	304-0195-L2
									AS NOTED

N:\Projects\2016\LANDSCAPE\UNIT 2 Landscape Plans\2016-01-Cover.dwg User: RUT 6/23/16 1:24:28 PM

- LEGEND**
- SHADE TREE
 - ORNAMENTAL TREE
 - EVERGREEN TREE
 - DECIDUOUS SHRUB
 - EVERGREEN SHRUB
 - TURF SEEDING
 - DETENTION SEEDING
 - EXISTING TREES



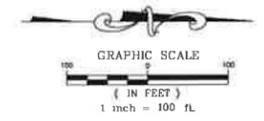
1 INDEX PLAN
SCALE: 1" = 100'

- GENERAL NOTES:**
- PARKWAY TREES SHALL BE PLANTED HALF WAY BETWEEN THE CURB AND SIDEWALK, UNLESS NOTED OTHERWISE.
 - PARKWAY TREES SHALL BE PLANTED AT LEAST 10 FT. FROM DRIVEWAYS, STREETLIGHTS, FIRE HYDRANTS AND 30" FROM R.O.W INTERSECTION.
 - PARKWAY TREES SHALL BE REQUIRED FOR EA. 40' FT. OF STREET FRONTAGE.
 - BERM HT. TO BE 3" (+/-) WITH MAXIMUM 3:1 SIDE SLOPES.
 - FINAL BERM SHAPES TO BE DETERMINED IN FIELD.
 - BERMS AND SURROUNDINGS TO BE SHAPED TO PROVIDE POSITIVE DRAINAGE.
 - DRIVEWAY WIDTHS ARE SHOWN 25 FT. WIDTHS MAY VARY DEPENDING ON FINAL DESIGNS W/ INDIVIDUAL LOTS.
 - ALL EXISTING TREES INDICATED ON THE PLAN SHALL BE REMOVED.
 - ALL RIGHT OF WAYS AND PARKWAYS SHALL BE SEEDED.

PLANT UNIT SUMMARY TABLE
ACREAGE: 10

#	ITEM/CATEGORY	ORDINANCE REQUIREMENT	PLAN LAYOUT	REQUIRED AMOUNT	TOTAL UNITS PROPOSED	Plan Summary (Units)*					REMARKS	
						Large Tree	Evergreen Tree	Ornament Tree	Large Shrub	Medium Shrub		Small Shrub
1	PARKWAY TREES	1 Tree/40 LF of Frontage	3164 LF.	79 Trees	63 Trees							Parkway driveway and utility restrictions allow for only 63 trees.

* - Numbers indicate unit summaries unless noted otherwise.



REVISIONS			
No.	DATE	DESCRIPTION	BY
0	6-23-2016	Submit For Review	ech

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FIELD BOOK
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Ruettiger, Tonelli & Associates, Inc.
Surveyors • Engineers • Planners • Landscape Architects • G.I.S. Consultants
129 CAPISTA DRIVE - SHOREWOOD, ILLINOIS 60404
PH (815) 744-6600 FAX (815) 744-0101
website: www.ruettigertonelli.com

PROJECT TITLE:
**JACOBS FIELD
Unit 2A
New Lenox, Illinois**

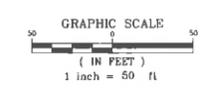
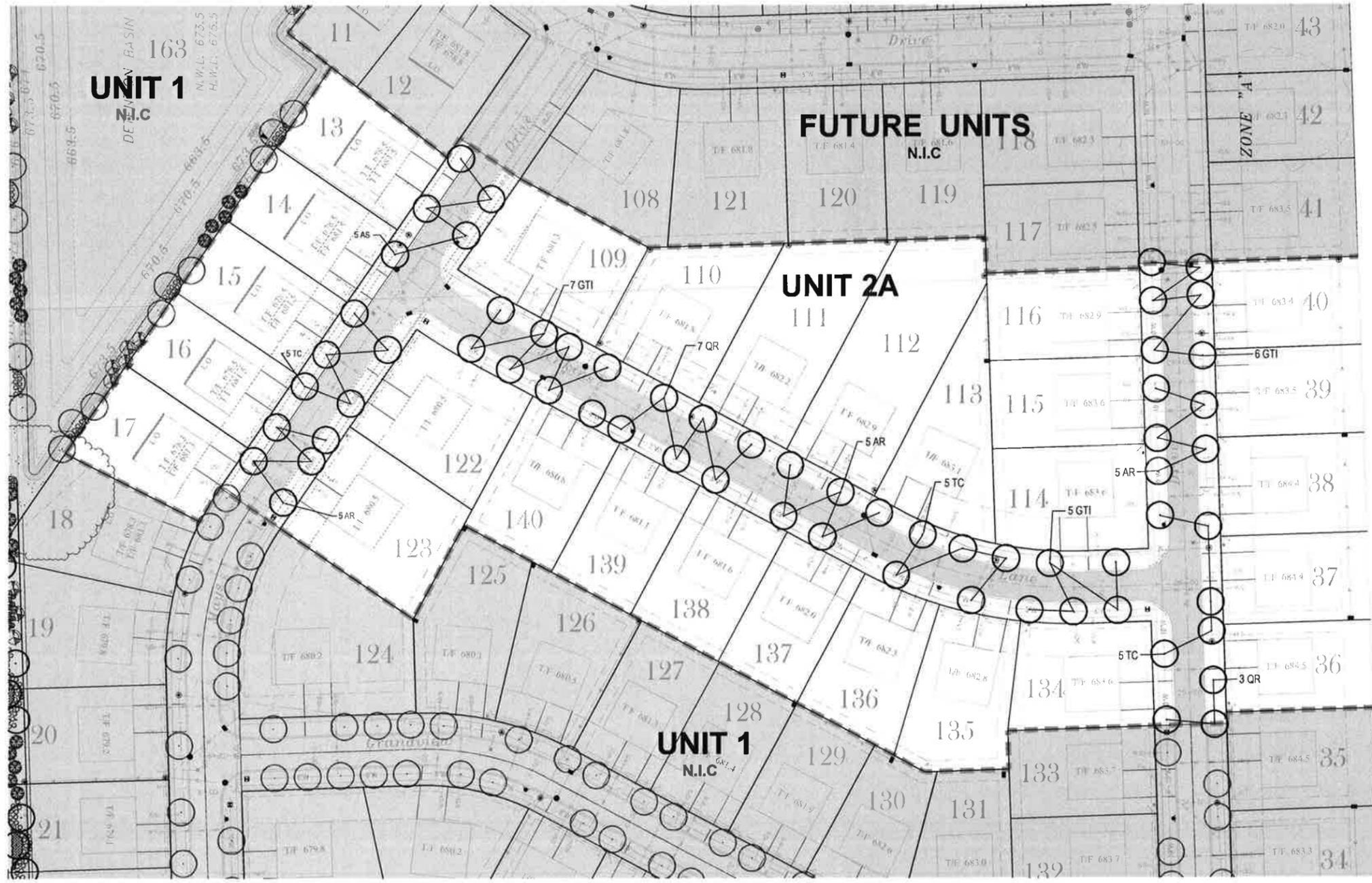
DRAWING TITLE:
**FINAL LANDSCAPE
INDEX PLAN**

DRAWING No.
304-0195-L2
SCALE
AS NOTED
ENGINEERING SHEETS
SHEET 2 OF 4

PROPOSED	LEGEND	EXISTING
	ELEVATION	
	STORM SEWER	
	SANITARY SEWER	
	WATER MAIN	
	GAS MAIN	
	OVERHEAD ELECTRIC	
	UNDERGROUND TELEPHONE	
	WATER SERVICE	
	SANITARY SEWER SERVICE	
	SUMP PUMP CONVEYANCE CONDUIT	
	STORM MANHOLE	
	STORM INLET	
	CATCHBASIN	
	SANITARY MANHOLE	
	FIRE HYDRANT	
	STREETLIGHT	

- LEGEND**
- SHADE TREE
 - ORNAMENTAL TREE
 - EVERGREEN TREE
 - DECIDUOUS SHRUB
 - EVERGREEN SHRUB
 - TURF SEEDING
 - DETENTION SLOPE MIX (F2b)

NOTE: SLOPES > 4: 1 TO BE BLANKETED



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Ruettiger, Tonelli & Associates, Inc.
 Surveyors • Engineers • Planners • Landscape Architects • GIS Consultants
 129 CAPISTA DRIVE - SHOREWOOD, ILLINOIS 60404
 PH. (815) 744-6600 FAX (815) 744-0101
 website: www.ruettigertonnelli.com

PROJECT TITLE: **JACOBS FIELD Unit 2A New Lenox, Illinois**

DRAWING TITLE: **FINAL LANDSCAPE PARKWAY TREES**

DRAWING No. **304-0195-L2**
 SCALE: **AS NOTED**
 ENGINEERING SHEETS
SHEET 3 OF 4

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LANDSCAPE SPECIFICATIONS

A. General

- Plants and other materials are quantified and summarized for the convenience of the Owner. Contractor shall confirm and install sufficient quantities to complete the work and meet the intent of the design as drawn.
- Discrepancies between planting plan and planting table, shall be noted to the Owner, unless noted otherwise, numbers indicated on the plan shall govern for bidding purposes.
- Contractor shall verify locations of all underground utilities prior to digging.
- Verify site conditions and information on drawings. Promptly report any concealed conditions, mistakes, discrepancies, or deviations from the information shown in the contract documents. The Owner is not responsible for unauthorized changes or extra work required to correct unreported discrepancies.
- Contractor shall be responsible for daily cleanup of all trash and debris from his work.
- Contractor shall secure and pay for permits, fees and inspections necessary for the proper execution of the work. Contractor shall comply with applicable local codes and landscape design standards in the performance of the work.
- Owner shall be notified one week prior to planting date.
- Minor adjustments to tree and shrub locations may be necessary due to field conditions and final grading. The contractor shall notify the Owner if major adjustments are required.
- All plant substitutions shall be approved by the Owner's Representative prior to installation.
- All landscape work shall be in accordance to standards established for landscape construction and planting in the Illinois Standardized Landscape Specifications (ASLA), American Association of Nurseryman, and local landscape ordinances.

B. Site Preparation

- Final grade site areas to smooth, free draining, even surface, free of large stones, debris, and depressions.
- Site for seeding to have a minimum of 4" - 6" of topsoil applied before seeding.
- Areas of weed growth shall be herbicided and removed or killed, raked and removed prior to seeding.
- No seeding shall start until final grades have been approved by the Owner. Seeding done without grade approval may result in areas being reseeded at contractor's expense.
- Planting areas created within existing parking lots shall be excavated a minimum of 12 inches below root ball depths as measured from the pavement surface. Excavated material shall be removed and not mixed with planting mix. Provide underdrainage as necessary or as shown on plans and details.

C. Plantings

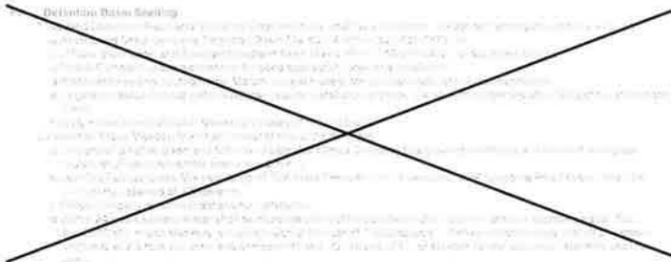
- Planting mix for trees and shrubs shall consist of 60% acceptable topsoil and 40% mushroom compost, or other medium approved by Owner.
- All plants shall be nursery grown with shapes and dimensions in accordance with American Standards for Nursery Stock.
- All plants shall be acclimated to climatic conditions similar to those in locality of the project.
- All plants shall be typical of their species or variety and shall have a normal habit of growth. They shall be sound, healthy and vigorous, well branched and densely foliated when in leaf, shall be free of disease and insect pests, eggs or larvae, and shall have healthy, well-developed root systems.
- Balled and burlapped plants shall be dug with firm natural balls of earth, of diameter and depth to include most of the fibrous roots. Container grown stock shall have been grown in a container long enough for the root system to have developed sufficiently to hold its soil together firm and whole. No plants shall be loose in the container.
- Root balls of all plants shall be adequately protected at all times from sun and drying winds or frost. Plants with broken root balls or excessive damage to the crown shall be replaced prior to planting.
- Shrub, perennial and ground cover masses shall be placed in planting beds prepared to include 10-10-10 fertilizer to planting soil at the rate of 1/2 pound per cubic yard of planting soil. A pre-emergence herbicide shall be applied to the planting bed in accordance with the manufacturer's instructions. Planting beds shall be mulched with ground hardwood mulch, minimum 3" thick.
- Shrub beds and trees shall be mulched with hardwood mulch as noted.
- Do not locate plants within 10 feet of fire hydrants, transformers, or other above ground utilities unless noted otherwise on the drawings.
- All bed lines and tree saucers shall require a hand-spaded edge between lawn and mulched areas unless noted otherwise.
- No bare root plant material allowed, unless approved in writing from the Owner.

D. Fertilizer

- During site preparation and prior to seeding, apply a granular, non-burning fertilizer of not less than 50% organic slow release product at a rate of 1.5 lbs. per 1,000 square feet.
- Starter fertilizer shall have an approximate analysis of 0-24-24 or similar approved composition.
- Apply fertilizer by mechanical means thoroughly and evenly distributed with soil by diking, to a depth of 3".
- Fertilizer shall not be applied to native vegetation plantings.

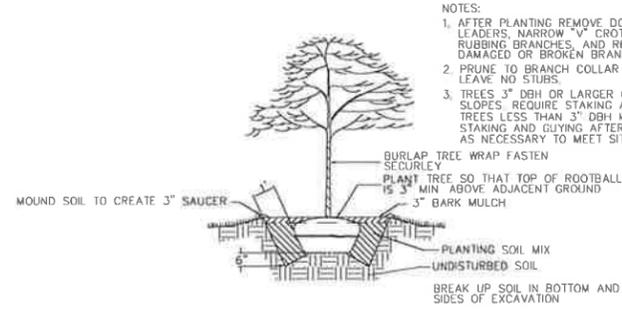
E. Seeding

- Grass seed shall be clean, certified seed free of noxious weeds and mixed to the appropriate proportions by weight.
- Seed certification tags shall be provided to the Owner for approval prior to seeding.
- Seed mix shall be by proportioned by weight as follows (unless approved otherwise by Owner):
 - 40% Kentucky Bluegrass (minimum 3 varieties)
 - 25% Creeping Red Fescue (Dawson)
 - 15% Turf-type Perennial Ryegrass
 - 20% Annual Ryegrass
- Seed shall be applied at a rate of 4.5 lbs. per 1,000 square feet.
- Apply seed under favorable conditions. Seed immediately after preparation of the bed. Favorable seeding times are:
 - Spring Seeding: April 1 through May 15
 - Fall Seeding: August 20 through Sept. 20.
- Apply seed with a rotary or drop-type distributor. Install seed evenly by sowing equal quantities in two directions at right angles to each other.
- After seeding, rake soil surface lightly to incorporate seed into soil surface. Roll with light lawn roller.
- Within 24 hours seeded areas shall be mulched with pelletized straw mulch (Summit Seed or approved equal, 100 lbs/1,000 sq. ft.), mulch blankets, or hydro mulch at the rate of 1,500 lbs/acre. If straw mulch is used, it shall be spread uniformly at 2.5 tons per acre, and crimped into soil. On slopes of 5:1 or steeper, landscape mulch blankets shall be used.
- Sod shall be a certified turfgrass containing a minimum of three varieties of bluegrass. Install sod within 48 hours of cutting from nursery.
- Contractor shall submit sod grower's certification of grass species and identify location.



G. Maintenance - Guarantee

- Contractor shall guarantee planted material for one full year starting after all substantially completed work in this section has received written preliminary acceptance by the Owner.
- Newly seeded areas shall be kept uniformly moist during seed germination and until vegetation covers at least 75% of the seeded areas to a height of two-to-three inches. Thereafter, water in the absence of rain every five-to-seven days until maintenance responsibility is assumed by the Owner.
- Maintain lawn until a full, uniform stand of grass is established. Grass areas will be accepted provided a healthy, even-growth, viable lawn is established. At a minimum, bare areas greater than 5 square feet in area, or over 25% in aggregate within a 100 square foot area shall be reseeded.
- Maintenance shall include pruning, cultivating, weeding, watering, and if necessary, application of appropriate insecticides and fungicides necessary to maintain plants free of disease.
- Re-settled plants to proper grade and position, lighten and repair guy wires and stakes, restore planting saucers and remove dead material as necessary. Correct defective work as soon as possible, after deficiencies become apparent, and weather and season permit.



- NOTES:
- AFTER PLANTING REMOVE DOUBLE LEADERS, NARROW "V" CRÔTCHES, RUBBING BRANCHES, AND REMOVE DEAD, DAMAGED OR BROKEN BRANCHES LEAVE NO STUBS.
 - PRUNE TO BRANCH COLLAR
 - TREES 3" DBH OR LARGER OR TREES PLANTED ON SLOPES REQUIRE STAKING AND GUYING AFTER PLANTING. TREES LESS THAN 3" DBH MAY REQUIRE STAKING AND GUYING AFTER PLANTING AS NECESSARY TO MEET SITE CONDITIONS.

1 TREE PLANTING DETAIL
SCALE: NOT TO SCALE

PLANT SCHEDULE - JACOB'S FIELD - UNIT 2A

TREES	QTY	BOTANICAL NAME / COMMON NAME	SIZE
AS	5	Acer miyabei 'State Street' / Miyabei Maple	2.5" dbh, BB
AR	15	Acer rubrum 'Autumn Flame' / Autumn Flame Maple	2.5" dbh, BB
GTI	18	Gleditsia triacanthos var. inermis 'Skycole' TM / Skyline Thornless Honey Locust	2.5" dbh, BB
QR	10	Quercus rubra / Red Oak	2.5" dbh, BB
TC	15	Tilia americana 'McKSentry' / Sentry Linden	2.5" dbh, BB

SEED
3134 SY Parkway Seeding

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**FINAL LANDSCAPE
PLANTING DETAILS AND
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DRAWING No.
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SHEET 4 OF 4