

AREA: 141.596 ACRES

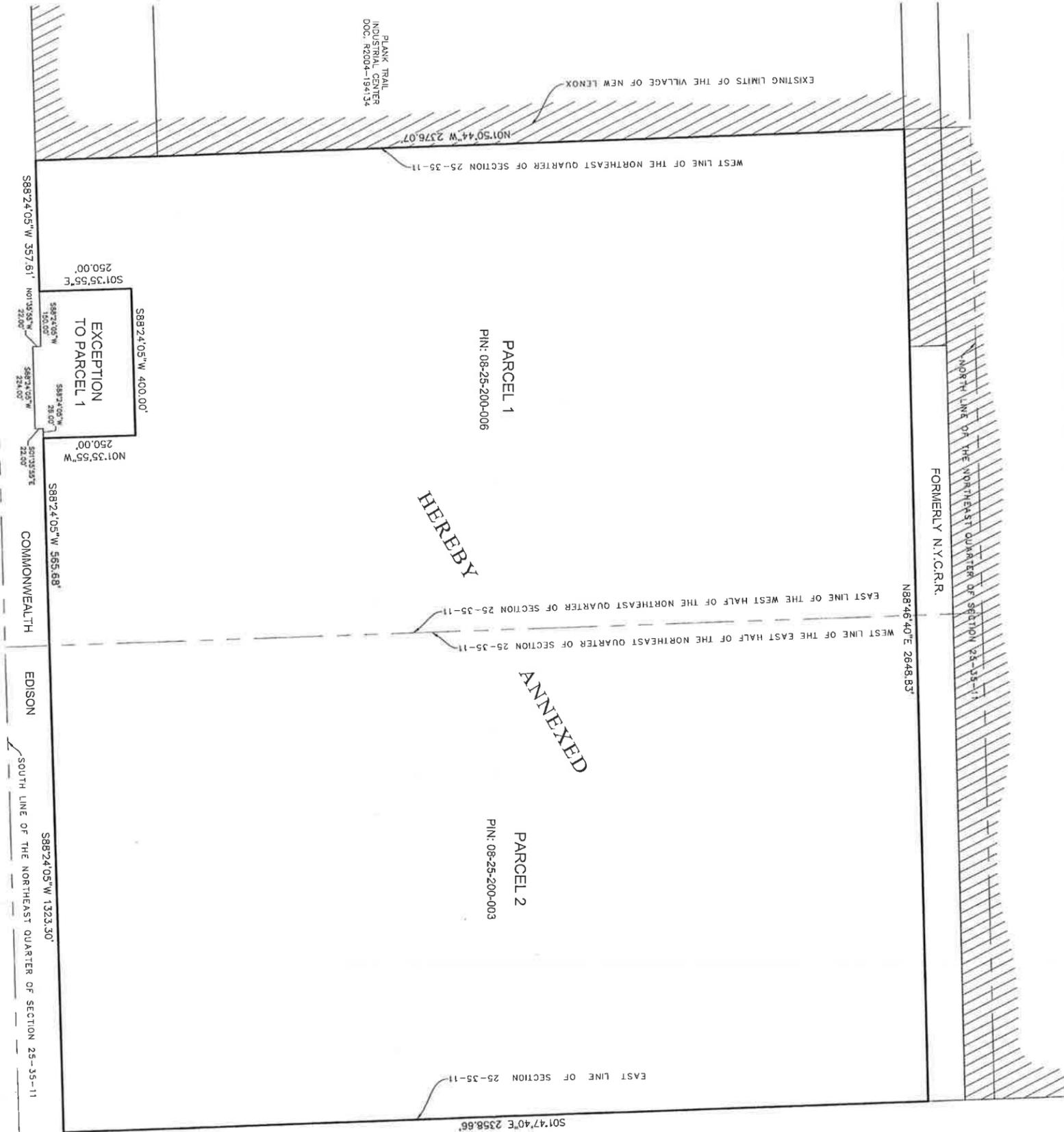
PLAT OF ANNEXATION INTO THE VILLAGE OF NEW LENOX, WILL COUNTY, ILLINOIS OF

GRAPHIC SCALE
(IN FEET)
1" = 100'

RECEIVED
JUL 19 2016
BY: [Signature]

PARCEL 1:
THAT PART OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 25, TOWNSHIP 35 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING SOUTH OF THE SOUTH LINE OF THE CENTRAL RAILROAD COMPANY AND NORTH OF A CERTAIN PART THEREOF CONVEYED BY JOACHIM JARROW AND WIFE TO JOHN B. GLUCK BY WARRANTY DEED DATED SEPTEMBER 8, 1923, RECORDED SEPTEMBER 11, 1924 IN BOOK 607, PAGE 100, AS DOCUMENT 371557.
EXCEPT:
THAT PART OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 25, TOWNSHIP 35 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: THENCE SOUTH 01°35'55" WEST 2216.07 FEET, THENCE NORTH 88°24'05" EAST ALONG THE NORTH LINE OF COMMONWEALTH EDISON RIGHT OF WAY, BEING ALSO A NORTH LINE OF A CERTAIN PART OF SAID SECTION 25 CONVEYED BY WARRANTY DEED DATED SEPTEMBER 8, 1923, RECORDED SEPTEMBER 11, 1924 AS DOCUMENT 371557. A DISTANCE OF 357.61 FEET TO THE POINT OF BEGINNING, THENCE NORTH 01°35'55" WEST, 250.00 FEET, THENCE NORTH 88°24'05" EAST, 400.00 FEET, THENCE SOUTH 01°35'55" EAST, 250.00 FEET TO A POINT ON SAID NORTH LINE OF COMMONWEALTH EDISON RIGHT OF WAY, THENCE WESTERLY THE FOLLOWING FIVE (5) COURSES AND DISTANCES ALONG SAID NORTH LINE OF COMMONWEALTH EDISON RIGHT OF WAY, SOUTH 88°24'05" WEST, 28.00 FEET; THENCE SOUTH 01°35'55" EAST, 22.00 FEET; THENCE SOUTH 88°24'05" WEST, 224.00 FEET; THENCE NORTH 01°35'55" WEST, 150.00 FEET; MORE OR LESS, TO THE POINT OF BEGINNING, IN WILL COUNTY, ILLINOIS.

PARCEL 2:
THAT PART OF THE EAST HALF OF SECTION 25, TOWNSHIP 35 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF THE NORTH LINE OF THE RIGHT-OF-WAY OF THE ELGIN, JOLETT AND EASTERN RAILROAD COMPANY, EXCEPTING THEREFROM THE LAND CONVEYED TO GERMEO AND INDIANA PLANK ROAD COMPANY BY WARRANTY DEED RECORDED IN BOOK 33, PAGE 132, ALSO EXCEPTING THEREFROM THAT PART OF THE EAST HALF OF THE NORTH EAST QUARTER OF SAID SECTION 25, TOWNSHIP 35 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, (NOW THE MICHIGAN CENTRAL RAILROAD COMPANY); ALSO EXCEPTING THEREFROM LAND CONVEYED TO L. H. GULICK BY DEED RECORDED IN BOOK 562, PAGE 629, ALL IN WILL COUNTY, ILLINOIS.



HEREBY ANNEXED

STATE OF _____ } SS
COUNTY OF _____ }
DOES HEREBY CERTIFY THAT IT IS THE HOLDER OF RECORD TITLE TO THE PROPERTY DESCRIBED IN THE ABOVE CAPTION, AND THAT AS SUCH TITLE-HOLDER IT DOES HEREBY AGREE AND CONSENT TO SAID PROPERTY BEING ANNEXED AS SHOWN ON THE PLAT HEREBY DRAWN.
DATED AT _____ DAY _____ A. D. 20 ____
BY: _____ ATTEST: _____
TITLE _____
COUNTY OF _____ } SS

HEREBY CERTIFY THAT _____ (TITLE) AND _____ (TITLE) OF _____ (COMPANY), BOTH PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT, APPEARED BEFORE ME THIS DAY IN PERSON AND VOLUNTARILY AND WITHOUT COERCION, UNLAWFUL INFLUENCE, UNLAWFUL INDUCEMENT, UNLAWFUL RESTRAINT, UNLAWFUL FRAUD, UNLAWFUL DECEIT, UNLAWFUL INTIMIDATION, UNLAWFUL UNDUE INFLUENCE, UNLAWFUL UNLAWFUL AND DEED OF SAID CORPORATION FOR THE USES AND PURPOSES THEREIN SET FORTH, AND SAID SAID SEAL TO SAID INSTRUMENT AS CUSTOMER OF SAID CORPORATION, DID THEN AND THERE AFTY COOPERATION, FOR THE USES AND PURPOSES THEREIN SET FORTH, GIVEN UNDER MY HAND AND NOTARIAL SEAL, THIS _____ DAY _____ A. D. 20 ____.

STATE OF ILLINOIS } SS
COUNTY OF WILL }
THE ANNEXED PLAT IS DEEMED AS THAT PLAT INCORPORATED INTO AND MADE PART OF THE VILLAGE OF NEW LENOX, ILLINOIS BY ORDINANCE NO. _____ OF SAID VILLAGE OF NEW LENOX, ILLINOIS, IN ACCORDANCE WITH 765 ICS 205/102 AND MADE PART OF THE VILLAGE OF NEW LENOX, ILLINOIS BY SAID ORDINANCE THIS _____ DAY OF _____ A. D. 20 ____.

STATE OF ILLINOIS } SS
COUNTY OF KANE }
WE, COMPASS SURVEYING LTD., DO HEREBY CERTIFY THAT WE HAVE PREPARED THE FOREGOING INSTRUMENT, AND THAT AS SUCH TITLE-HOLDER IT DOES HEREBY AGREE AND CONSENT TO SAID PROPERTY BEING ANNEXED AS SHOWN ON THE PLAT HEREBY DRAWN.
DATED AT AURORA, ILLINOIS THIS 19TH DAY OF JULY 2016.
COMPASS SURVEYING LTD.
PROFESSIONAL SURVEYOR
LICENSE NO. 02012017
BY: [Signature]
DANIEL F. FLISAK
ILLINOIS PROFESSIONAL SURVEYOR NO. 3392
LICENSE EXPIRES 11/20/2016



PROJECT: Leigh Creek New Creek Illinois

CLIENT: Advantage Consulting Engineers

NO.	DATE	7-18-16	PC	W/A	DRAWN BY	MR. J.	CHECKED BY	MR. J.	BOOK	N/A	PS	N/A

COMPASS SURVEYING LTD. SURVEYING LTD. 2351 GINGER WOODS PARKWAY, STE 100 AURORA, IL 60502
PHONE (630) 230-9100 FAX (630) 832-7000 EMAIL ADMIN@COMPASSSURVEYING.COM



RECEIVED
JUL 15 2016
 BY: _____

BRIDGES OF MOKENA
 PER FINAL SUPERVISION PLAN
 BY LANDMARK ENGINEERING
 CORPORATION
 SURVEY NO. 04-01-111-509-18A
 (PLAT RECORDED 11-21-15)
 DCC No. R200520381

SITE DATA	
GROSS LAND AREA	616,327 SF 14.6 ACRES
IMPAVED ROAD	952,779 SF 21.4 ACRES
RETENTION AREA (100% 24" D)	801,422 SF 18.4 ACRES
PUBLIC PARK AREA (100% 24" D)	277,590 SF 6.3 ACRES
GAS LINE EASEMENT AREA (100% 24" D)	15,016 SF 0.3 ACRES
OPEN SPACE AREA (100% 24" D)	128,074 SF 2.9 ACRES
NET LAND AREA	1,585,691 SF 36.4 ACRES
EXCESS LOT AREA (SINGLE FAMILY)	150,621 SF 3.4 ACRES
EXCESS LOT AREA (DUPLEX)	44,584 SF 1.0 ACRES
EXCESS LOT AREA (TRIPLEX)	1,131 SF 0.03 ACRES
TOTAL UNITS	783 UNITS
TOTAL SINGLE FAMILY UNITS (LOTS 209 - 244)	295 UNITS
TOTAL TOWN HOME UNITS (LOTS 209 - 244)	500,000 SF 12.3 ACRES
MINIMUM LOT SIZE	10,500 SF
AVERAGE LOT SIZE	17,500 SF
TOTAL DUPLEX UNITS (LOTS 209 - 244)	75 UNITS
TOTAL TOWN HOME UNITS (LOTS 209 - 244)	274,707 SF 6.2 ACRES
MINIMUM LOT SIZE	11,660 SF
AVERAGE LOT SIZE	14,835 SF
TOTAL OPEN SPACE (RETENTION AREA + PUBLIC PARK AREA) = 1,420,164 SF	
LANEWAY AREA = OPEN SPACE AREA - EXCESS LOT AREA = 1,269,543 SF	
LANEWAY AREA = 1,269,543 SF = 28.8 ACRES OF GROSS LAND AREA	

CONCEPT PLAT
LEIGH CREEK ESTATES
 HARTZ CONSTRUCTION CO., INC.
 9026 Heritage Parkway
 Woodridge, IL 60517